

# KINGBIRD

## BOTANIC RIDGE



RESIDENTIAL DESIGN GUIDELINES

This sheet supersedes corresponding sheet endorsed on 1/2/2022

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### 1.1 Introduction

Kingbird is a residential estate located in the sought-after suburb of Botanic Ridge. Kingbird Estate has been designed to enrich the existing landscape, with the development located south of one of the most spectacular Botanic Gardens Victoria has to offer.

Kingbird will consist of over 500 residential lots ranging in size to accommodate the needs of future homeowners.

The Developer, King Bird Developments, is keen to assist in protecting the investment of its new residents. This is achieved by requiring the development of houses and associated facilities to adopt a high standard of design and quality presentation throughout the Estate.

### 1.2 Vision

Kingbird Estate is designed with the community and environment in mind. Residents can take advantage of open space reserves, waterways, parklands and future recreational fields and amenities close by.

### 1.3 Design Guidelines and Approval Process

The Design Guidelines have been developed to preserve and enhance the value of your property. They are controlled by the Kingbird Design Assessment Panel (DAP).

Design approval from the DAP refers only to compliance with the applicable building design guidelines contained in this document. It does not refer to and should not be treated as guaranteeing compliance with the laws or regulations of local, state or federal government, statutory authorities or any building codes or standards imposed or administered by them (e.g. Town planning controls or ResCode).

The Design Guidelines may be amended from time to time at the Developer's discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals. Applications will be assessed against (and must comply with) the current version of the Design Guidelines. The final decision regarding all aspects of the Design Guidelines will be at the discretion of the DAP. The DAP also reserves the right to waive or vary any requirements of the Design Guidelines, with the understanding that this will not set a precedent nor imply any such action will apply again.

To obtain Design Approval, you must forward the Application for Design Approval Form (Appendix A) with a copy of the documentation listed on the form for approval to:

**Kingbird Estate Design Assessment Panel**

**Beveridge Williams**

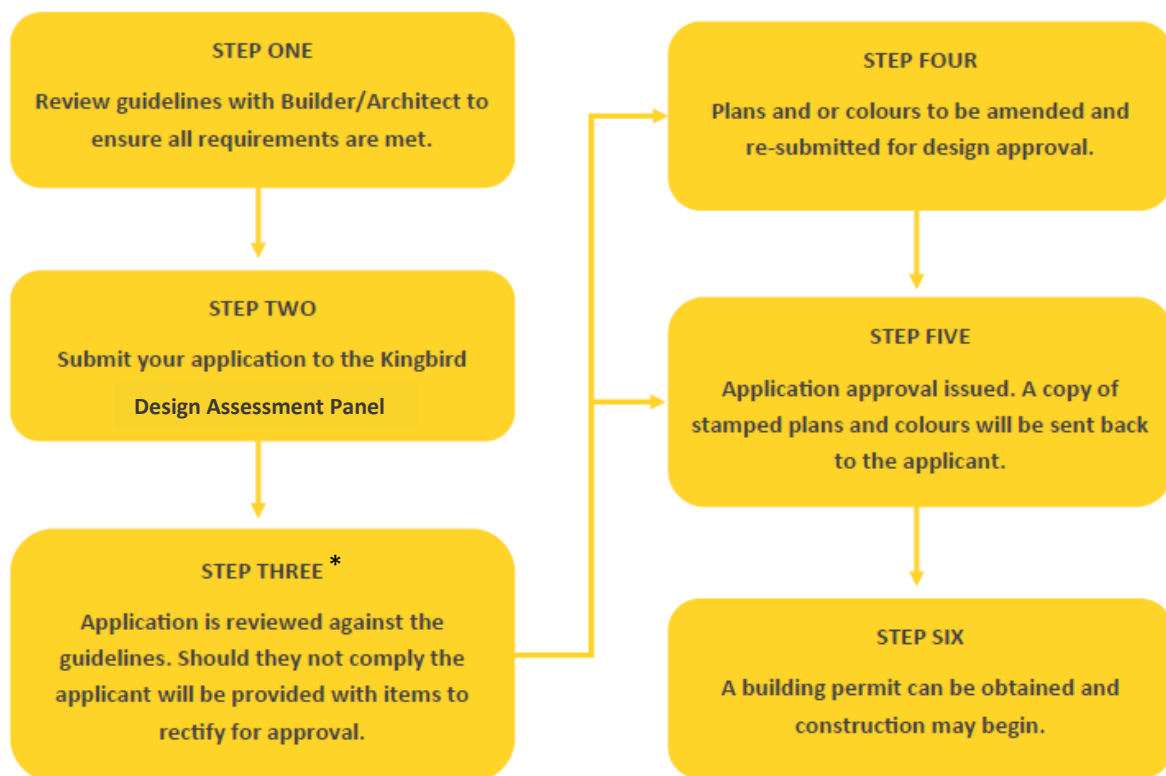
**<https://portal.beveridgewilliams.com.au/>**

### 1.4 Application for Development Approval

Your submission must include:

- A site plan of your home on your lot with site levels, dimensions and setbacks from all boundaries, proposed fencing, and driveway location,
- Floor plans that show the layout of your home indicating all rooms, windows, external doors, external fixtures must be fully dimensioned,
- Elevation plans indicating wall heights and all external finishes including the garage door type,
- External colour schedule indicating all external colours and materials used on your home.

### 1.5 Development Approval Process



\*Design must comply with the Residential Design Controls in the BRPSP, otherwise Council planning permission may be required

### 2.1 Sustainability

All home designs are to achieve the minimum energy rating requirements for energy efficient design.

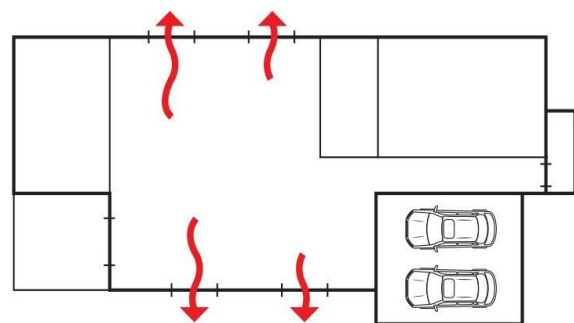
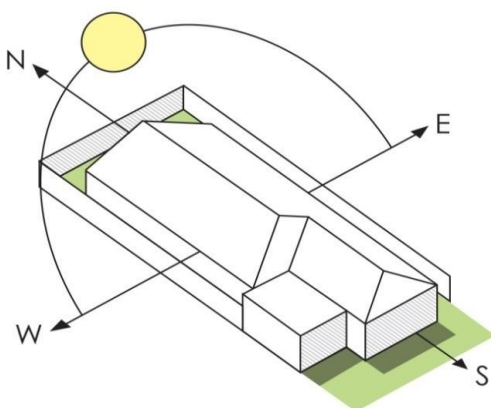
The correct siting and orientation of your house can result in minimising the summer heat and harnessing the winter warmth. This will result in comfortable living throughout the year and reduce running costs. Private living areas are encouraged to be located on the northern side of the allotment.

Dwellings should be designed to minimise the impact on the environment, particularly by limiting the overall energy and water consumption for the household. All homes are required to achieve the minimum legislative energy efficiency requirements.

Consideration should be given to other methods which may assist to further decrease the energy consumption of your home.

Consideration of the following principles is encouraged:

- Where possible orientate living areas to the north
- Design to take advantage of passive solar heating and cooling by maximising north facing walls and glazing & providing reasonable shading of north facing windows
- Minimise east and west (in particular) orientated glazing
- Orientate your home to catch prevailing breezes and take advantage of cross ventilation (including internal doors)
- Consider landscaping to provide shade
- Zoning of areas within the home so heating and cooling is provided only when required.



### 2.2 Small Lot Housing Code

Lots less than 300m<sup>2</sup> in size must comply with the requirements of the Small Lot Housing Code. In case of a conflict between the Guidelines and the SLHC, the requirements of the SLHC will prevail. Alternatively, a planning permit can be sought to build on any lot which is not in compliance with the SLHC.

### 2.3 Building Envelopes

Building envelopes are provided for all lots 300m<sup>2</sup> or greater. The relevant Building Envelope Plan for your lot can be found in your contract of sale, or via the Design Assessment Portal at <https://portal.beveridgewilliams.com.au/>

- Primary Frontage means:
  - In the case of a non-corner lot that abuts only one road, the boundary or boundaries that abut that road.
  - In the case of a corner lot or a lot that abuts two or more roads, the boundary or boundaries with the greater offset on the applicable Building Envelope Plan.
- Only one dwelling may be built on any lot and lots may not be further subdivided
- The dwelling and garage must be contained within the building envelope; they must also comply with applicable Planning Controls/ResCode, and the Botanic Ridge Precinct Structure Plan (PSP).
- Encroachments into the front, side or rear setbacks must be in accordance with the Small Lot Housing Code/Building Regulations 2018.
- Some lots within the Kingbird Estate are subject to the Bushfire Management Overlay, under the provisions of the Casey Planning Scheme. Please discuss with your building surveyor to determine whether this Overlay applies to your lot. If the Overlay is applicable to your lot, all requirements of the Overlay must be met in order to obtain a building permit. Please speak with your builder to confirm the requirements

### 2.4 Botanic Ridge Precinct Structure Plan Residential Design Controls

The Botanic Ridge Precinct Structure Plan implements Residential Design Controls which are applicable to the Kingbird Estate. The applicable Building Envelope Plan for your lot will demonstrate whether these requirements apply to your lot. If applicable, these requirements must be followed and cannot be varied by the Design Assessment Panel. Variations to the endorsed Building Envelope Plan or applications to build outside the Building Envelope will require approval from Casey City Council.

- Lots marked with 'A' on the Building Envelope Plan are subject to Interface A requirements:
  - Only one dwelling is permitted to be constructed on a lot (excepting a Dependent Person's Unit)
  - Dwellings are to be a maximum of one storey
  - Dwellings must be setback the distances in the below table from the relevant lot boundary to the closest dwelling wall. Porches, pergolas and verandahs, that are less than 3.6m in height, and eaves may encroach not more than 2.5m into these setbacks.
- Lots marked with 'B' on the Building Envelope Plan are subject to Interface B requirements:
  - Only one dwelling is permitted to be constructed on a lot (excepting a Dependent Person's Unit)
  - Dwellings to have a maximum overall height of 8.5m\*
  - Two storey dwellings must provide a partially recessed second storey, with a minimum 50% of the second storey façade area setback a minimum of 0.84m from the front façade building line (not inclusive of the portico/porch/patio area). Articulation of front façade walls to both storeys is strongly encouraged. Please contact the Design Assessment Panel for preliminary feedback if you are unsure whether the proposed design complies with this requirement.

## 2.0 SITING AND ORIENTATION CONTINUED

- Lots marked with 'C' on the Building Envelope Plan are subject to Interface C requirements.
  - Dwellings to have a maximum overall height of 8.5m\*
- All remainder lots/Neighbourhood Lots in the Kingbird Estate require any dwelling on the lot, to have a maximum overall height of no more than 8.5m\*

\* The vertical distance measured from natural ground level to the roof or parapet at any point.

Dwellings must be setback the distances in the below table from the relevant lot boundary to the closest dwelling wall. Porches, pergolas and verandahs that are less than 3.6m in height and eaves may encroach not more than 2.5m into these setbacks.

Lot Type*		Minimum Front Setback	Minimum Rear Setback
Interface A		13m	10m
Interface B		6m	8m
Interface C		6m	6m
Neighbourhood	Less than 550m <sup>2</sup>	4m	-
	Between 551m <sup>2</sup> – 719m <sup>2</sup>	5m	-
	Greater than 720m <sup>2</sup>	6m	-

\*Refer to your building envelope plan to confirm lot types and dwelling setbacks

## 2.5 Garage Setbacks and Style

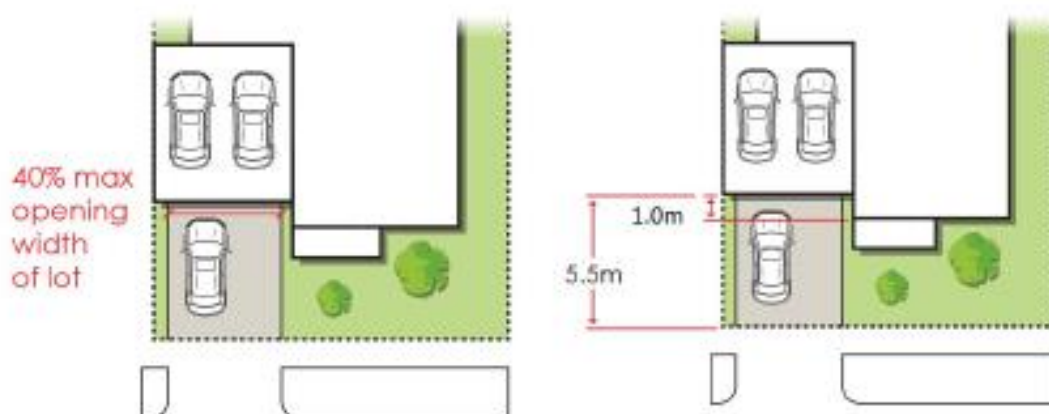
All homes must have a garage which is incorporated into the dwelling roof line. Carports are not permitted.

For lots with a 4m front building envelope setback and SLHC lots, the garage must be setback a minimum of 5.5m from the primary frontage and a minimum of 1.0m behind the main building line of the dwelling. All other lots, the garage must be a minimum of 1.0m behind the main building line of the dwelling.

Garage door widths must not exceed 5.5m.

Garage openings must be no more than 40% of the width of the lot frontage. In the case of a double storey dwelling on an allotment with a frontage of less than 12m, the area of the garage door must not exceed 30% of the area of the front façade of the dwelling (excluding roof area). Double storey dwellings on allotments with frontages greater than 12m must ensure that the garage does not dominate the front facade.

The garage door must be sectional or panel lift. Roller doors are not permitted where visible to the public.



### 2.6 Side Setbacks

On lots greater than 300m<sup>2</sup> the dwelling must be provided with at least one side setback, to a minimum of 1.0m. It is preferable that the setback is provided between the lot boundary and living area walls, rather than the garage wall.

### 2.7 Construction Time Frames

Construction of your home must begin within 12 months of settlement of your land.

Certificate of Occupancy must be issued no later than 12 months after the commencement of construction.

Landscaping and fencing must be completed within 6 months of the Certificate of occupancy being issued.

### 2.8 Service Connections

All homes must install or make allowance for optic fibre cabling (Opticomm)

All homes must provide connection to recycled water for toilet flushing and garden irrigation



## 3.0 HOME DESIGN

### 3.1 Allowable Land

No more than 1 dwelling may be constructed on each lot

Further subdivision is not permitted

Relocatable homes are not permitted

### 3.2 Minimum Floor Area

Minimum 120m<sup>2</sup> on lots between 300m<sup>2</sup> - 500m<sup>2</sup>

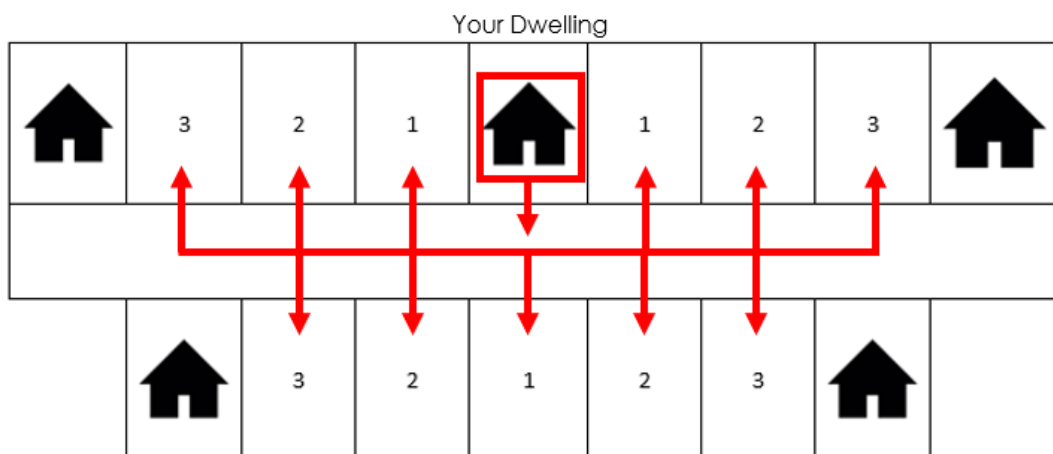
Minimum 150m<sup>2</sup> on lots between 501m<sup>2</sup> - 700m<sup>2</sup>

Minimum 180m<sup>2</sup> on lots greater than 701m<sup>2</sup>

Floor area excludes garages, porches, verandahs, pergolas, balconies, and alfresco areas.

### 3.3 Façade Design Variation

Two dwellings of similar front façade designs must not be built within three (3) dwelling lots of the subject property. This includes lots either side and opposite your lot.



### 3.4 Site Coverage

Your home should not exceed site coverage of more than 60% of the allotment. Site coverage does not include unroofed decks, unroofed pergolas, unroofed verandahs, swimming pools, or eaves, fascia and gutters with a total width of 600mm or less.

### 3.5 Façade Features

To create interest and give your façade unique character, your façade must be articulated and include at least one of the following features:

- Verandahs with a minimum 1.5m depth and 2.5m width. Where a verandah is used on a corner lot the verandah must wrap around the secondary frontage a minimum 4.0m
- Covered porch or portico with a minimum depth of 1.5m and width of 1.6m. The porch or portico must project from the main building line
- Balconies on double storeys are strongly encouraged and must be a minimum 1.8m in depth and 4.0m in width
- Porches, pergolas and verandahs less than 3.6m high and eaves may encroach into the front setback no more than 2.5m



Verandah



Porch



Balcony

On lots with a width less than 16m one habitable room window must be included to the façade. Lots with a width of 16m wide or more should provide additional glazing areas to reduce flat façade areas.

Entry doors must be visible from the primary frontage.

### 3.6 Façade Material

To provide a visually pleasing façade a combination of different materials are required to be used.

Each façade must have at least one contrasting material to a minimum of 30%. Where a façade has more than two (2) materials, the minimum 30% calculation may be comprised of more than one material.

Lightweight infill is not permitted above windows and doors visible to the public. The material used above windows and doors is required to match the adjoining surface.

Infill over garages is required to match the material of the surrounding area, and must be finished flush with the facade

The following are approved façade materials:

- Brick work
- Rendered Brickwork, Polystyrene Cladding, Fibre Cement Sheeting
- Tiles
- Cladding
- Weatherboards



Bricks



Weatherboards



Render



Cladding



Tiles



Stackstone

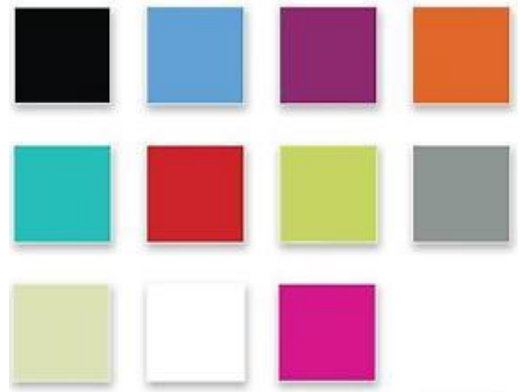
### 3.7 Façade Colours

The colour palette of your home should complement the surrounding landscape, with natural earthy hues. Refer to the adjacent colour palette for ideal colour selections.

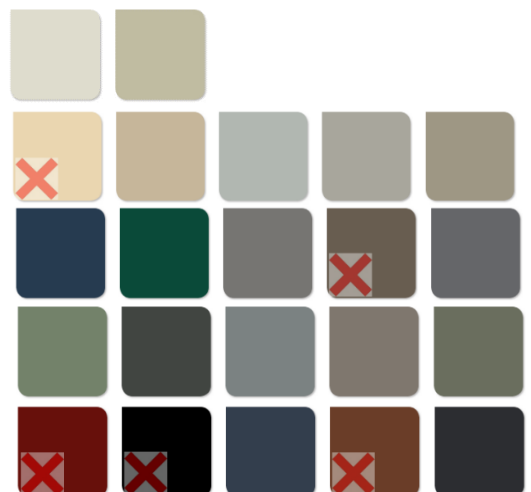
Galvanised steel or reflective finishes are not permitted.



The use of dark or vibrant colours must not dominate the external colour palette and should not exceed more than 10% of the façade. Refer to the adjacent colour palette for colours that should be used sparingly on facades.



Black (Night Sky) or White or other similar colours are not permitted on the roof. This item must be of grey, blue/grey, charcoal, or green tones. Refer to the adjacent colour palette for colours that are not permitted.



### 3.8 Windows

All front windows must be clear glazed, excluding entry doors and side lights.

Windows to habitable rooms, where visible to the street, must have sill heights no greater than 700mm above finished floor level.

Windows facing the public must have the same head and sill heights and be appropriately proportioned.

Front façade windows must be awning or fixed windows. Sliding windows are not permitted.

Roller shutters are strictly not permitted where visible to the public.



Matching Window Head and Sill Heights

### 3.9 Roofing

Roof can be constructed of corrugated metal sheeting (Colorbond or similar) or roof tiles.

Skillion, Gable or Pitched roofs are permitted. Flat roofs are not permitted. Where there is a pitched roof it must be a minimum of 22 degrees on single storeys and 20 degrees on double storeys.

Minimum 450mm eaves must be provided to the roof of single storey dwellings where visible to the public, and to the entire roof on double storeys.

Eaves must return a minimum 1.5m to the sides on non-corner lots. Eaves on corner lots must continue along the entire secondary frontage and provide a 1.5m rear return.

Where the dwelling has a barge over a gable the barge must be a minimum 450mm.



Skillion Roof Style



Pitched Roof Style



Gable Roof Style

### 3.10 Corner Treatment

Secondary frontages that face a side street or reserve must flow with consistent material and finishes as used on the primary façade. Ideally the façade feature on the primary façade would be used on the secondary façade.

Where a wall visible to the secondary frontage exceeds 10m in length, the wall must step in a minimum 300mm for a minimum 1.0m in length, or a contrasting material or colour for a minimum of 2.0m in length.

A minimum 50% of the rooms to the secondary frontage, forward of the return fence, must have windows facing the secondary frontage.

Blank walls for the entire secondary street frontage are not permitted.

Windows must match the head and sill heights used on the primary façade where visible to the public.

Corner treatment must continue along the secondary frontage until at least the return fence, or 4.0m, whichever is greater.

Meter boxes should, where possible, be located on the opposite side to the secondary frontage. In instances where the meter box cannot be located on the opposite side, it must be colour coordinated to the wall it is attached to.



### 3.11 Driveways

Each lot must have only 1 driveway unless it is a corner lot, in which case 2 crossovers may be permitted with consent from the Responsible Authority.

The driveway must not exceed the width of the garage door and must taper to match the width of the crossover. Concrete surfacing to the front of dwellings will not be accepted unless to provide for a driveway or pedestrian path from the footpath to the front entry of the dwelling. Where possible, the use of separate pedestrian paths should be avoided to increase soft landscaping opportunities. A minimum on 50% of the front setback should consist of softscape.

Driveways must be finished in the following:



Exposed Aggregate



Concrete Pavers



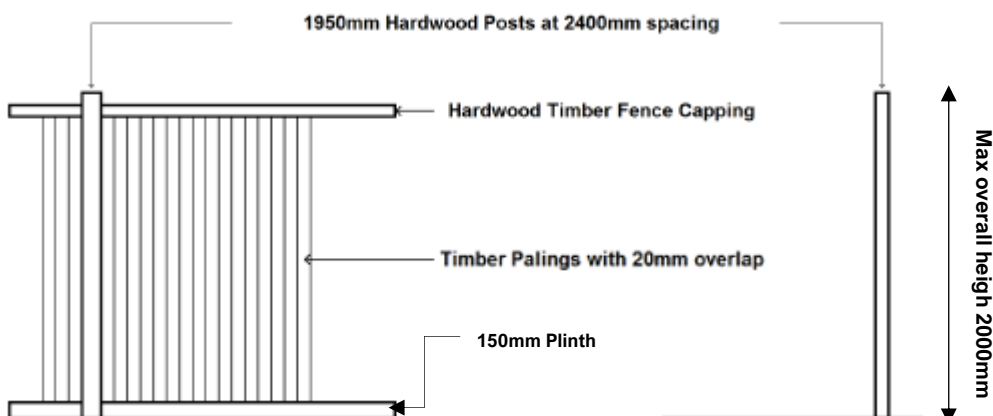
Colour through Concrete

Driveway colour must complement the façade of your home. Plain concrete and colour-on or painted concrete are not permitted.

A minimum 300mm wide landscaping strip must be provided between the driveway and closest side boundary.

### 3.12 Fencing

Side and rear fencing must be constructed of timber palings with 20mm overlap, hardwood timber capping and 1950mm high exposed hardwood posts at 2400mm spacing. Fencing must not exceed 2000mm in height including the plinth.



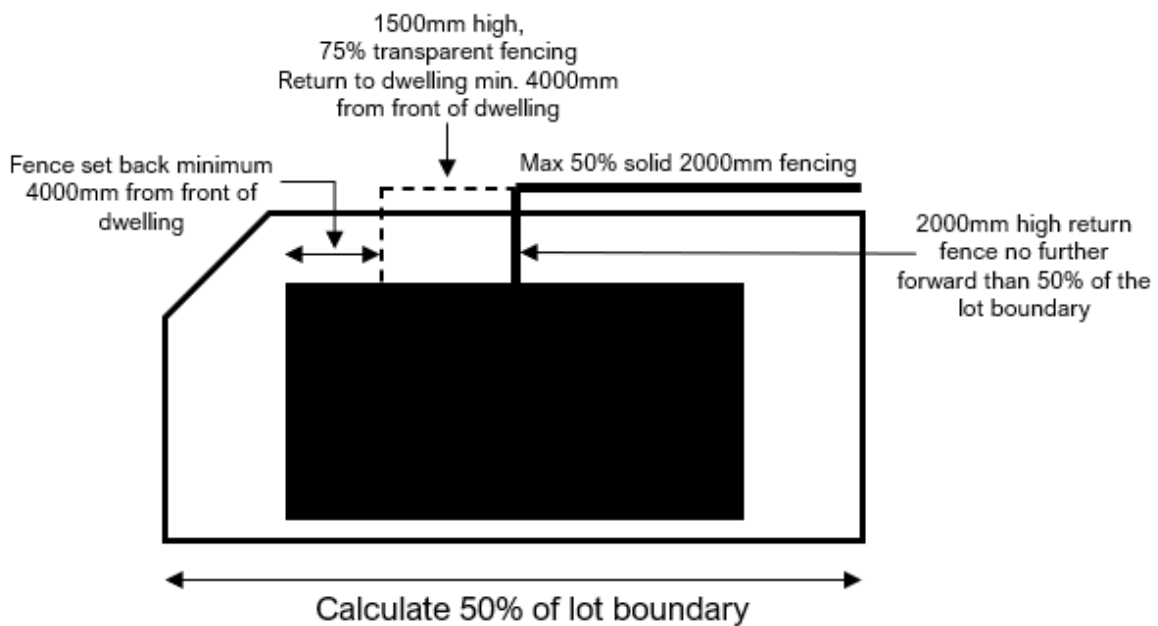
### 3.0 HOME DESIGN CONTINUED

Side fencing on non-corner allotments must be setback a minimum 1500mm from the main building line.

Return gate/fence must be constructed of feature materials that will complement the façade of your home.

Corner fencing at the height of 2000mm must not exceed 50% of the relevant lot boundary. Forward of this, fencing must be 75% transparent and a maximum of 1500mm high.

Corner fencing must finish a minimum of 4000mm behind the front façade. Fence return must be a minimum 4000mm behind the front building line.



Where a front fence is proposed, it must be a maximum height of 1200mm and have a minimum 75% transparency. The front fencing must return to the side boundaries and meet with the side paling fence. The front and wing fence colour and materials must complement the dwelling. Timber slates or masonry pillar with metal/timber infill are acceptable materials.

### 3.13 Outbuildings, Utilities and Facilities

Outbuildings including but not limited to pergolas, verandahs and sheds must not exceed 50m<sup>2</sup> or have a height greater than 3.6m. Outbuildings must not be visible from the street and complement the dwelling.

Outbuildings are encouraged to be located within the nominated building envelope where possible. Alternate siting will be considered on a site specific basis.

Bin storage areas, drying areas, air conditioning units, solar hot water systems, satellite dishes, TV antennae, caravans, trailers and boats are not to be visible to the public and where placed on the roof should be at the rear and below ridge line.

Water tanks are to be behind fences in backyards. Where it is visible to the public, it must be incorporated well into the design or appropriately screened as per the provided examples and in accordance with any BMO.

Solar panels to be located out of public view where feasible.



### 3.14 Landscaping and Site Works

Any retaining structure excluding those that form part of the building walls must be no higher than 1.0m visible to the public.

Where cut and fill are greater than 1.0m, planted and landscaped embankments (maximum 1:3 ratio) must be constructed.

Landscaping to your front yard should consist of local indigenous plants. Hard surfaces should be kept to a minimum. A list of local indigenous plants can be found on the City of Casey's Website: [www.casey.vic.gov.au](http://www.casey.vic.gov.au)

A list of weed plants can also be found on the Council's website and are strongly encouraged to be avoided in your landscape design.



Letterboxes with street numbering must be installed prior to occupation and comply with the Australia Post Standards. A letterbox on a single post will not be permitted.

Cats and exotic bees must not be kept on the property.



**Design Approval Application Form**

Lot Number: \_\_\_\_\_

Owner's Name: \_\_\_\_\_

Current Post Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Builder's Name: \_\_\_\_\_

Contact Name & Number: \_\_\_\_\_

Documents required to be submitted for approval to Kingbird Design Assessment Panel (A3 Size):

- 1. Site plan of your home on your lot with site levels, dimensions and setbacks from all boundaries, proposed fencing and driveway location;
- 2. Floor plans that show the layout of your home indicating all rooms, windows, external doors, external fixtures fully dimensioned;
- 3. Elevation plans indicating wall heights and all external finishes including the garage door type;
- 4. External colour schedule indicating all external colours and materials used on your home.

The DAP will endeavour to assess proposal's in the shortest possible time, generally within ten (10) business days of receipt of application if all above documentation is provided.

Applications cannot be assessed until all of the above information is available. The Vendor reserves the right to request further information.

Please submit the above documentation to:

**Kingbird Estate Design Assessment Panel**  
**Beveridge Williams**  
<https://portal.beveridgewilliams.com.au/>