

# BINGARA GORGE



Building and Siting  
Requirements

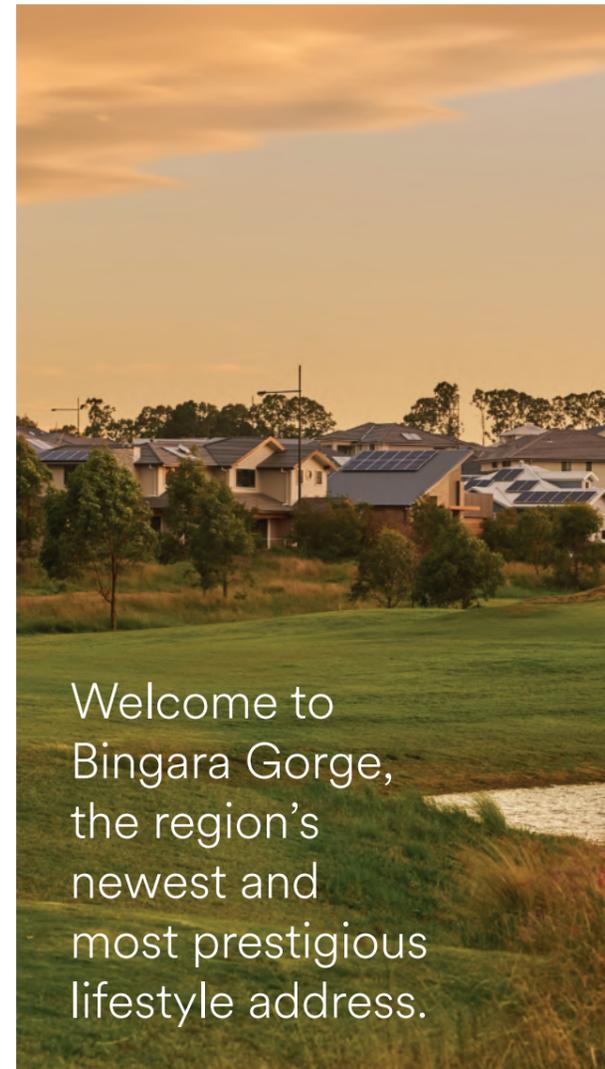
**The Fairways**

 **lendlease**

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Please note that variations to this document will be assessed on their merits by the covenant officer whose decision is final.



## Introduction

Welcome to The Fairways, a prestigious address at Bingara Gorge where you can live the lifestyle you've always dreamed of. With manicured hedge-rows fronting grand homes and impressive views over the championship golf course and lake, The Fairways is a premium village that you will be proud to call home.

Residents of The Fairways will enjoy a lifestyle unlike any other. The Fairways is home to Bingara Gorge's recreational and leisure facilities, and provides the opportunity for homes overlooking the Graham Marsh designed golf course. A wide range of blocks allows for homes of different sizes and in different locations to suit a range of homebuyers, from low-maintenance Courtyard blocks to grand Homestead living.

You will be able to individually design your own home by using the requirements set out in this document.

The Building and Siting Requirements provide design direction for your home at Bingara Gorge. Approval must be obtained for your home from the Design Panel prior to obtaining other approvals, including Wollondilly Shire Council's development consent.

We look forward to welcoming you to the Bingara Gorge community.



## Important Points to Remember

### 2.1 Home Approval Process

The Customer Service Team and the Design Panel will assist you through all steps required in purchasing your property, home design review and final approval.

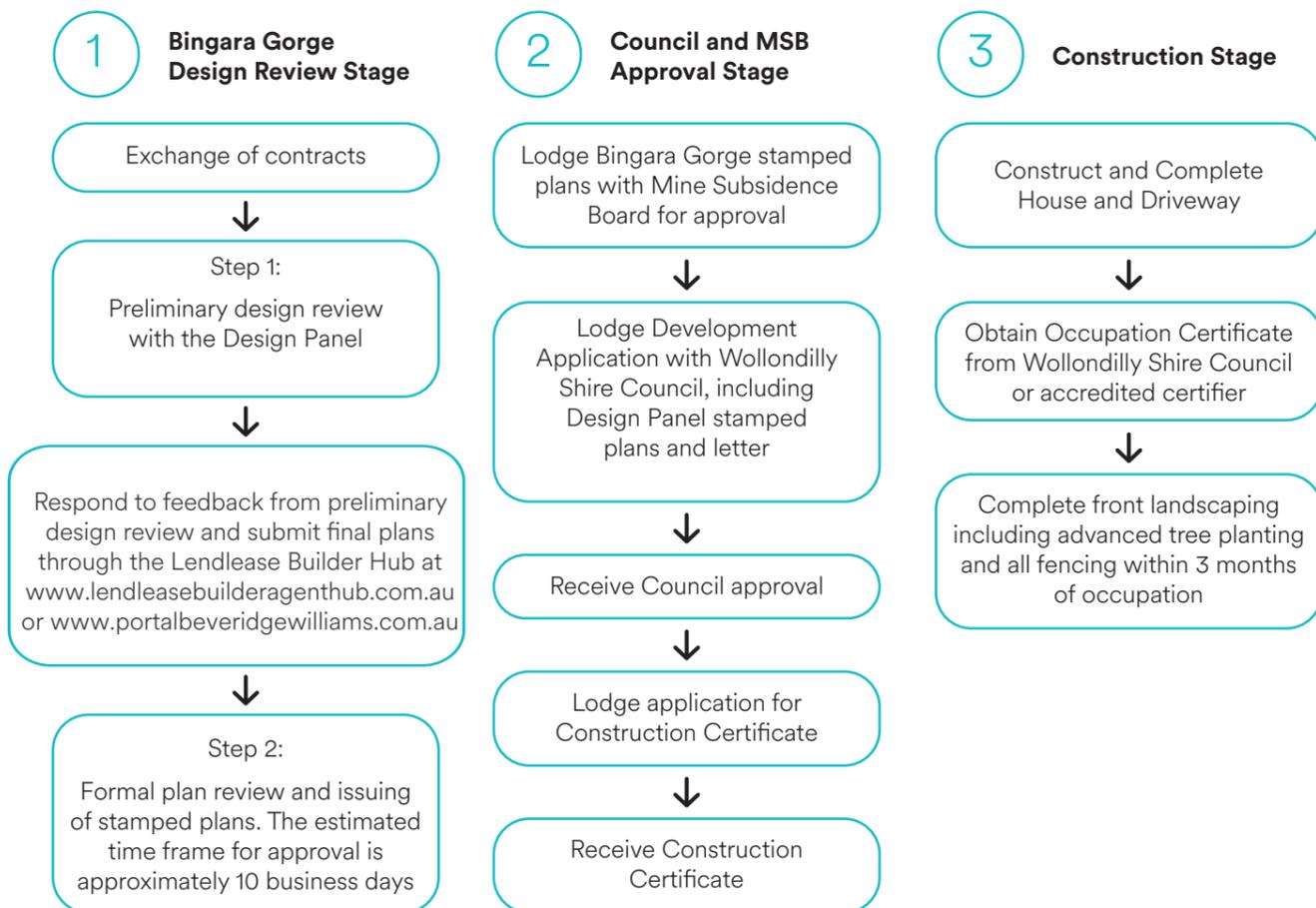
All home designs including any changes to your house before, during or after construction (renovations or alterations) require review from the Design Panel. Your builder and/or house designer is encouraged to contact the Design Panel for design review meetings.

As part of the review process, an approval will also need to be obtained from the Mine Subsidence Board (MSB) and the Wollondilly Shire Council. A Construction Certificate is required prior to commencing any building works.

Timing is important, as construction of your new home, including driveway, front landscaping with advanced tree planting and fencing, must commence within 18 months and be completed within 30 months of settlement of your property. The house and driveways must be completed before occupation. It is important to have preliminary design review meetings with the Design Panel within the first six months after signing your contract.

Please refer to the Document Checklist on page 24 to determine the drawings you are required to provide for these meetings.

#### Home Design and Approval Process



### 2.2 Key Considerations

#### One home on each block

- Only one home per block is permitted. One granny flats permissible up to 60m<sup>2</sup> in size on lots larger than 450sqm.
- Further subdivision of any lot is not permitted.

#### Tree retention

- Trees that have been retained within your property and on street verge cannot be removed unless approval has been received from Wollondilly Shire Council and the Design Panel.

#### Temporary structures

- No temporary or relocatable buildings or structures may be erected or located on a block unless they are for use during the construction of the home.
- You may not live in any temporary structure such as a caravan



## Your Home

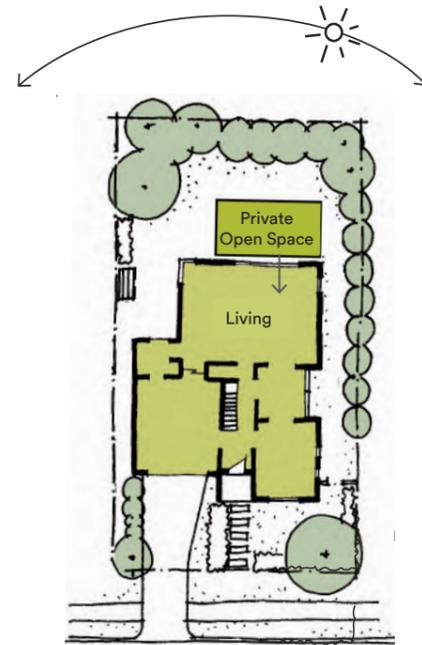
### Building Character

All home designs in Bingara Gorge are to draw inspiration from the rich architectural heritage of traditional country towns. This will include the use of traditional building forms, high roof pitches, chimneys, generous eave widths, use of verandahs and simple natural colour palettes.

#### Planning and siting your home

The following must be considered when siting your home:

- Homes are to be designed for indoor and outdoor living with direct and strong connections between indoor living areas and outside private landscaped spaces such as courtyards and verandahs.
- A minimum dimension of 6m x 6m (Principal Private Open Space) is to be allocated to a well-designed external space connected to the living space of your house and must achieve sun for 3 hours during winter between 9am and 3pm for 50% of the total area of space. The Principal Private Open Space must have privacy from the street, however may be located forward of the home if adequate privacy can be achieved.
- Homes should respond to the orientation of your site. Living areas should face a northerly direction for sun in winter.
- Your garden is to be landscaped to complement Bingara Gorge's natural setting and the existing bushland, reflective of a country garden style.



Principal Private Open Space, Orientation & Existing vegetation



Indoor - outdoor living

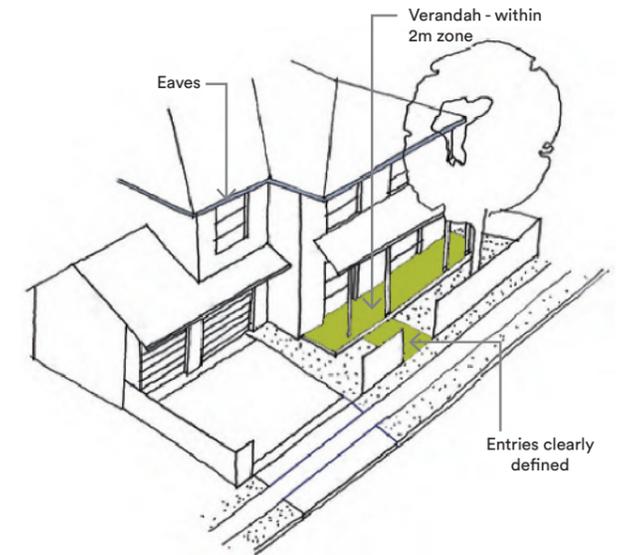


Homes to be landscaped

### Appearance of your home

The following must be addressed in the appearance of your home:

- Clean lines and non-decorative interpretations of traditional country homes through use of traditional building forms, high roof pitches, chimneys, generous eave widths, use of verandahs and simple natural colour palettes. Finials and overly decorative details are not permitted.
- A mix of building finishes that creates visual interest. See Section 3.7.
- Entries clearly defined and seen from the street.
- The verandah is an architectural feature that characterises many homes in a country setting. Your home design must incorporate a well proportioned architectural feature such as a verandah, portico or pergola fronting the street.
- Columns are to be well proportioned and to be a minimum of 150mm or alternatively 2 x 100mm posts.
- All sides of the house are to be treated with equal importance. The same quality of materials must be used on all elevations of the house.
- The roof will contribute to the look of your home and must have generous eaves and high roof pitch to achieve traditional country form.
- All plumbing and ductwork is to be concealed except for downpipes. Duct locations are to be shown internally on plans for all two storey homes.
- The same house facade is to repeat no more than one in five houses.



The front of your home must have features such as entries, pergolas and verandahs



Clean lines and non decorative interpretations of traditional country homes

### 3.2 Building Envelope Plan, Setbacks and Privacy

Building Envelope Plans show how your home must be sited on your property. The area within the setbacks is the area in which you can build your home and is called the building zone. The setbacks are aimed at protecting amenity between neighbours whilst providing flexibility for planning your home.

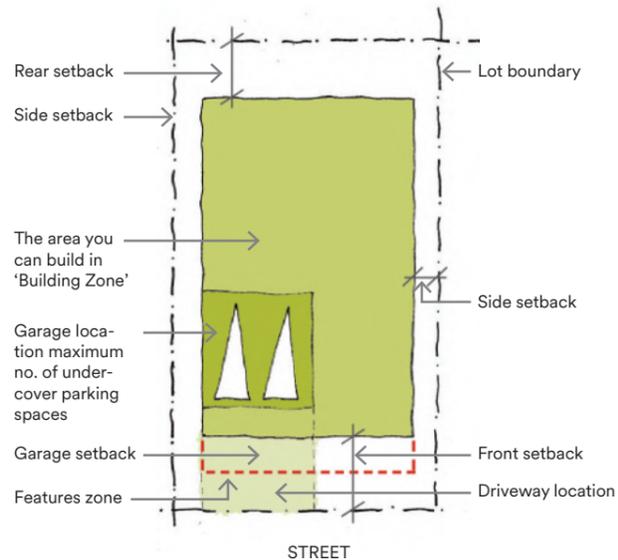
The Building Envelope Plan shows the following:

- Your boundary.
- The area you can build in, or the Building Zone.
- Minimum setbacks: side, front and rear.
- First floor setbacks (where applicable).
- Verandahs, balconies and porches may protrude beyond the Building Zone by 2m to primary street frontages.
- Garage location and number of parking spaces permitted.
- Asset Protection Zones (where applicable for bushfire protection).
- Maximum number of storeys of your home (where applicable).
- Existing trees.
- Mandatory fencing.
- Extent of Corner Façade Treatment required (where applicable).

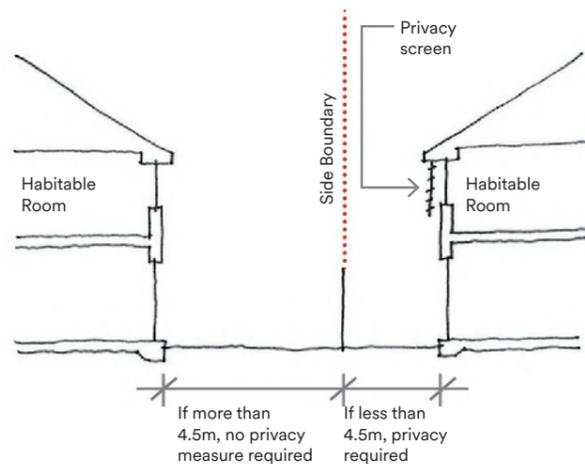
Where the separation between windows to habitable rooms of neighbouring dwellings is less than 9m, following privacy measures must be considered. Acceptable privacy measures are:

- External louvres/screening.
- 1.7m window sill height.
- Fixed and obscured glass to 1.7m with clear and operable glass over.

Open types of security screening enables security of homes while allowing casual surveillance for the security of streets. Block out security shutters are not permissible on front elevations.



Indicative Building Envelope Plan

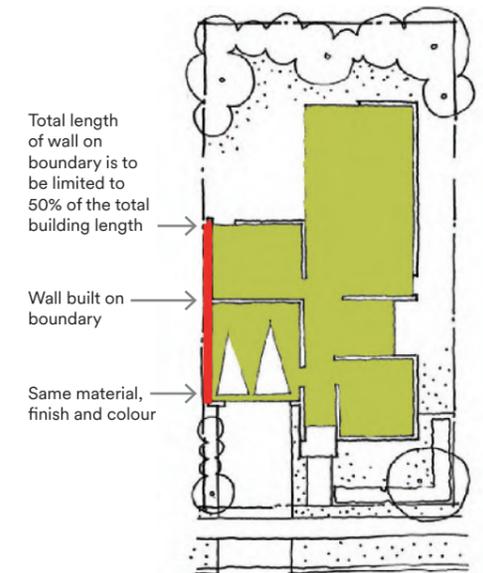


Privacy Measures

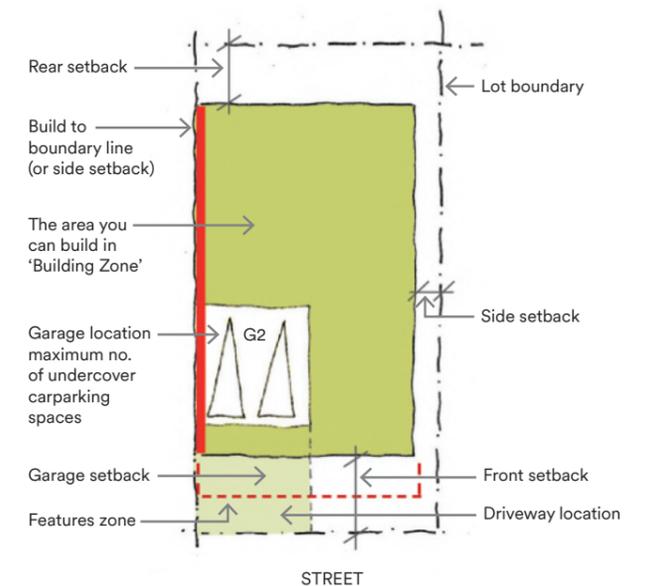
### 3.3 Build to Boundary Line

The positioning of walls to the boundary is permitted on selected lots and is indicated on your Building Envelope Plan. This allows you to maximise site efficiency and enable your principal private open space to be consolidated for functional and solar access reasons.

- Only allotments less than 450sqm are able to build to the boundary (please refer to your Building Envelope Plan).
- Only a single storey ground floor wall may be built to the boundary.
- The side setback of a two storey wall adjacent to the build to boundary must be 900mm; eaves may encroach into this side setback but must be 450mm off the boundary.
- The total length of the wall built on the boundary is to be limited to 50% of the building length facing that boundary. This wall may be in sections to allow courtyards in the centre of homes.
- An easement for maintenance has been created on the allotment adjoining the build to boundary. No retaining walls can be placed in this maintenance easement.
- Walls on the boundary are to be finished in the same material and quality as the front of the home.
- If the wall built to the boundary requires a gutter it must be set back 150mm off the boundary, so that the gutter does not encroach on the adjacent property.



Build to Boundary

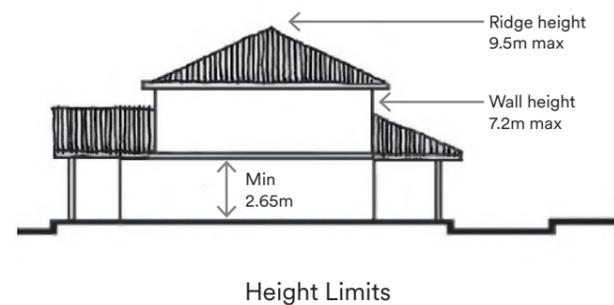


Indicative Building Envelope Plan with Wall on Boundary

### 3.4 Height Limits and Floor Levels

The height limits provide consistency and reduce overshadowing and impact on adjoining properties.

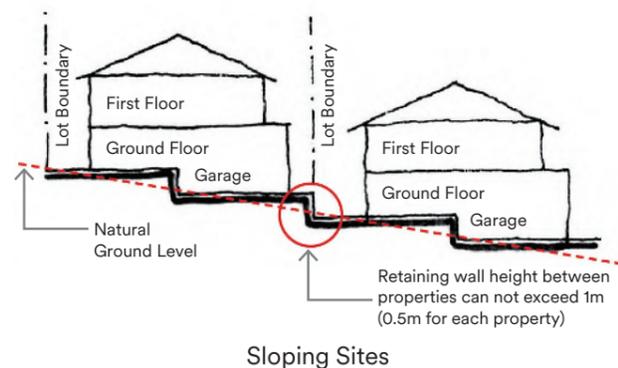
- Homes are to be a maximum of two storeys unless otherwise stated on your Building Envelope Plan.
- Two-storey homes are to have a maximum external wall height to underside of eaves of 7.2m and a maximum total building height to the ridge of 9.5m.
- Heights are to be measured from the natural or finished ground level (whichever is lower).
- Height of your home is measured perpendicular to ground level.
- Internal floor to ceiling height is to be a minimum of 2.65m for all ground floor rooms.
- Detached ancillary buildings such as a garage or a shed are to have a maximum building height (ridge height) of 5m unless a studio unit is proposed above.



### 3.5 Sloping Sites

Homes are to be designed to respond to the slope of your block. Split level homes and the use of drop edge beams are encouraged to minimise the use of retaining walls in the private open space areas. The following principles apply:

- Cut and fill and retaining walls or external landscaped walls along the boundary must not be greater than 1m in height (500mm for each neighbour). Refer to diagram.
- An elevated entry can be no greater than 1.2m from the existing ground level at that point.
- Retaining walls on the front boundary must be incorporated into the fencing base and be a maximum height of 500mm unless otherwise approved.
- Retaining walls within your property must not be greater than 900mm in height.
- Greater cut and fill heights may be used within your building structure.
- To create usable and efficient private open space areas, retaining walls should not be located in your principal private open space. Well designed terraces will be accepted.
- Cut or fill in your principal private open space can be no greater than 600mm from the floor level of your home.
- Retaining walls within your front setback or forward of the home must be constructed of sandstone or masonry to match the dwelling. Plain concrete block, concrete sleepers and timber retaining walls are not permitted.
- Planting should be used to soften the appearance of retaining walls.

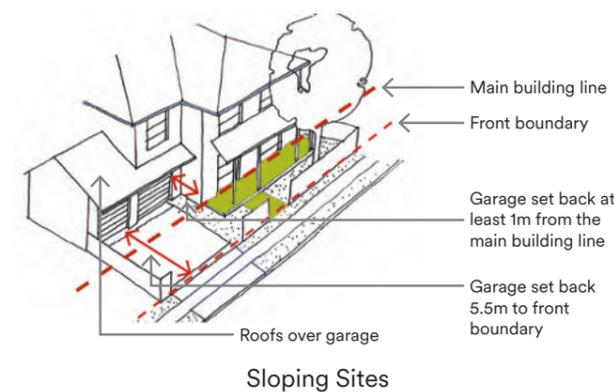


### 3.6 Garages, Car Parking and Driveways

Attractive streetscapes are created by reducing the impact of garages and driveways along streets. Specific requirements include:

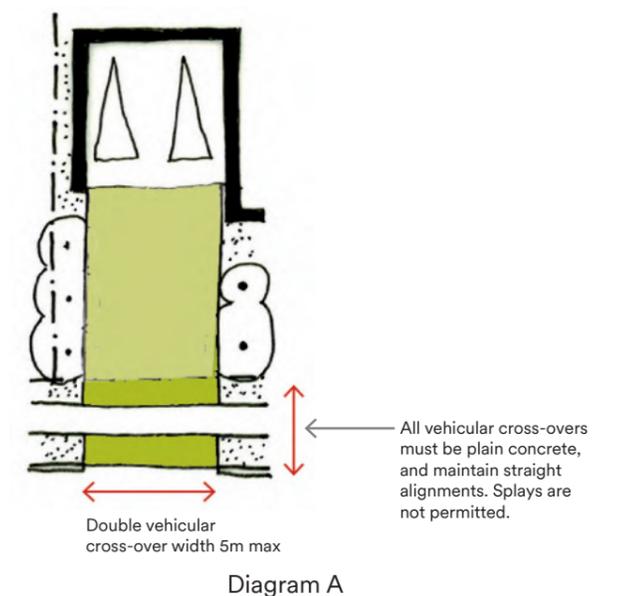
#### Garages

- Garage locations are shown on the Building Envelope Plan. A minimum of two off-street parking spaces with at least one enclosed garage space is to be provided on each block.
- Minimum setback to the garage is 5.5m and 1m behind the main building line. Others will be considered on architectural merit.
- Attached double garages are not to exceed 50% of the total house frontage.
- Garage doors must be a maximum of 3m wide for single garages and 6m wide for double garages.
- The use of verandahs, pergolas and deep overhanging roof lines across the front of attached garages is strongly encouraged to integrate the garage with the overall appearance of the home.
- Garage doors are to be panel lift or panel glide style and patterns must be horizontal in orientation or plain single panel doors.
- The golf cart storage must be incorporated as part of the garage design.



#### Driveways

- Location of vehicular cross-overs to the street is shown on the Building Envelope Plan.
- Driveways must abut footpaths so the footpath is continuous and not interrupted by driveways.
- Driveways must be constructed from either paving, crushed gravel with paved edging, coloured concrete, or exposed aggregate. Plain, stencilled or stamped concrete are not permitted.
- The driveway must be a minimum of 1m away from the side boundary to accommodate screen planting or turf. A minimum of 0.5m is required on a build to boundary lot.
- A separate pedestrian footpath is required from the property boundary to the front door.
- Single vehicular cross-overs must be 3m maximum in width. Double vehicular cross-overs to the street shall be a maximum of 5m in width. See Diagram A.
- All vehicular cross-overs must have straight alignments and no splays.
- The pedestrian and vehicular cross-overs from boundary to street must be constructed from plain concrete.



## 3.7 External Wall Materials and Colour

Materials and colours contribute to the character of a house and differentiate it from other homes within its neighbourhood. A mix of building materials creates visual interest. It is strongly encouraged that at least two of the materials listed below be incorporated into your home design.

### Materials:

The primary finish on the house is required to be at least 40% masonry on front façade, this must be either coloured, painted render or bagged finish.

A minimum of one of the following materials must also be used:

- Face Brickwork - monochromatic (single colour) with a smooth face.
- Stone.
- Timber or fibre cement weatherboards.
- Pre-finished metal sheeting.
- Fibre cement sheeting may be used in gable ends and roof structures.
- Other materials may be used on their design merit.

### Colours:

- Natural earthy toned colours that will suit the natural environment of Bingara Gorge, such as off-whites, browns, greens, creams and greys, are permitted as the main colour for walls, garage doors and other major surfaces. Highly reflective or bright colours such as bricks with 'red' tones will not be permitted as the base or predominant colour of the house.
- Accent materials such as fascia, gutter, window trim, front door, balustrade and handrail should be complementary colour to the house. The colour of the gutter should match the roof tile for a cleaner architectural result and downpipes should match the adjacent wall colour and not be highlighted.
- The limited use of stronger colours is acceptable for accentuating building elements, such as entry porticos, screens, louvres, shutters etc.
- Colour swatches must be provided for your final design approval for assessment by the Design Panel.

### Roof:

The roof should get inspiration from the surrounding golf course and luxurious address of the Fairways village. Lighter coloured rooves are encouraged.

## 3.8 Corner Lots

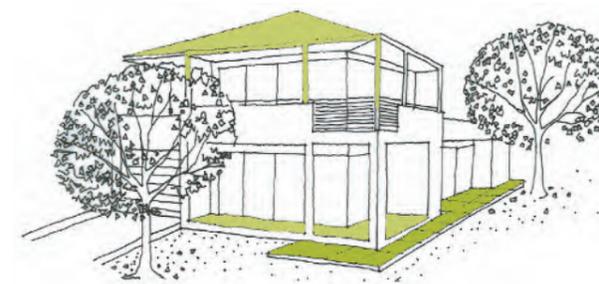
Corner lots can be seen from two streets and are to be designed to have attractive elevations to both streets. The following applies to the design of corner homes:

- The entry to a home can be positioned on either street frontage. Subject to council approval.
- Your Building Envelope Plan indicates the extent to which the detail and quality of the front elevation is to wrap onto the secondary street elevation. This is referred to as corner façade treatment.
- The elevation of the secondary street frontage must provide an interesting residential façade that supports a high quality streetscape for the extent of corner façade treatment. Relationships to the street must be achieved by entries, porches, verandahs, balconies, bay windows and / or a variety of roof forms addressing each street.
- Front fences are to continue the full length of the boundary. Alternatively the front fence can wrap around up to the extent of the corner facade treatment required as shown on your Building Envelope Plan.

## 3.9 Dual Frontage Homes

Some properties can be seen from two public spaces; namely two streets or a street and an open space or golf course. These homes are to be designed to have attractive elevations to both of those public spaces. The following applies to the design of homes addressing two public spaces

- Homes must position their main entry on the street frontage.
- The use of verandahs, porches, balconies, bay windows and a variety of roof forms should be considered for both the street façade and the façade addressing the open space/golf course.
- Any retaining walls along the open space must be incorporated into the fencing base and be a maximum height of 500mm. It must be constructed in masonry or sandstone. Retaining walls are to comply with Section 3.5.



On Corner allotments, relationship to both streets can be achieved by verandahs, porches, pergolas and a variety of roof forms

- All sides of your home must be treated with equal importance; materials used on the front of your home must be incorporated into the façade addressing the secondary street frontage/open space/golf course. See Section 3.7.
- A principal private open space may be located in your front or rear setback if privacy is achieved. Privacy can be addressed through hedging, landscaping and concealed fencing or by incorporating a courtyard into the design of your home.
- Service areas and ancillary structures must be screened from view from any public space with either planting or timber slat screens. Increased storage is encouraged in your home design to avoid the need for garden sheds and promote useful private open spaces areas.

## Golf course fronting lots

Lots fronting the golf course need additional consideration in their design. The following must be met in addition to the Dual Frontage Homes requirements noted above:

- Dwellings must be oriented and designed to address the surrounding golf course and vistas with an aspect of outdoor living (e.g. verandah, alfresco areas etc).
- Elevations fronting the golf course must have a balcony, portico or verandah. These must have a minimum depth of 1.5m and minimum width of 60% of that frontage.
- The landscape provided in the garden on golf frontage are to have the same quality and finishes as the front.

## 3.10 Roof Design

Roof style and colours are an important consideration in the design of your new home.

- Hipped and gable roofs must have a minimum pitch of 25 degrees. Lower pitched roofs with wider eaves will be considered on their design merit.
- Eaves must be incorporated into the roof design. The minimum eave width is 450mm on all sides of the home including garage and does not include fascia and gutter.
- Innovative roofs such as flat, skillion and curved will be assessed on their design merit by the Design Panel.
- Dormer windows and skylights are encouraged to provide interest to the roof form and increase natural light and ventilation. Dormer windows should be a maximum of 1.5m in width.
- Sun shading and weather protection must be considered in the overall design of the house, for example pergolas, screens, awnings and louvres.

### Roofing materials

Acceptable roofing materials are:

- Prefinished sheet metal roofing.
- Slim profile flat style roof tiles. The tiles are to be non-reflective concrete or terracotta tiles with a non-glazed finish.

## 3.11 Ancillary Structures

Ancillary structures refer to any additional structures or elements you may wish to add to your home, for example satellite dishes, clothes lines, air conditioners etc.

- All ancillary structures must be screened from public view, not located in the principal private open space and not located in front of your home.
- Detached ancillary structures including clotheslines, pet enclosures and sheds are to be kept to the rear half of your property, screened from public view and not located in your principal private open space.
- TV antennas are not required as free to air TV can be provided through fibre optic infrastructure. Should you wish to have a TV antenna, it must be located to the rear of your house, below the ridgeline.
- Satellite dishes and air conditioners must be located to the rear of the house, below the ridgeline.

### Swimming Pools

- Swimming pools and associated pumps and filters must be screened from view from neighbouring homes and public open space.
- An underground water storage tank must be placed to capture pool overflow.
- Swimming pool fencing must comply with relevant Australian Standards and Building Codes of Australia.

### Chimneys

- Chimneys must be constructed of stone, cladding or masonry and consistent with the house. Metal flues are not permitted. Chimneys should not exceed the maximum height of the roofline by 1 metre.
- Note: wood burning or slow combustion fires are not permissible.

### Letterbox

- Letterboxes must use materials and colours consistent with the house. Letterboxes are not to be greater than 1200mm in height. The size of street number lettering are to be no greater than 100mm in height. Temporary or makeshift letterboxes or metal boxes on metal posts are not permitted.
- If a front fence is proposed, the letterbox must be incorporated into front fence. A letterbox simply screwed to fence is not permitted.

### Sheds

- Garden and storage sheds 12m<sup>2</sup> and less must be located 900mm off the boundary and will not require approval from the Design Panel.
- Prefabricated metal sheds over 12m<sup>2</sup> must be located within the building zone and will require approval from the Design Panel.
  - The roof and wall materials must comply with Section 3.7.

### Signage

- Signage for home business must be submitted for approval. All other signs other than real estate signs, builders' signs and development signage are prohibited.

### Garbage and recycling storage

- An area specifically for the storage of garbage bins that is screened from public view and easily accessible to the point of collection must be provided.

## Your Garden

The character of Bingara Gorge will build upon natural attributes to create a unique country garden community setting.

### 4.1 Garden Design

#### Soft landscape

Soft landscape elements include trees, shrubs, groundcovers, mulches and turf. To achieve a successful landscape setting for your home the following are required

- Three trees, which will attain a mature height of greater than 6m, are to be planted by the resident. A minimum of one of these trees is to be planted within the front garden area. Two of these trees are to be of a minimum container size of 100 litres when planted and one of these must be in the front garden.

In addition to this, the majority of the remaining open space of your property, outside of the house footprint, driveway, garage and pool should be soft landscaped, with a balance between turf and planting beds.

The garden will provide residents with an opportunity to express their own style and contribute to the streetscape and southern highland character of the site.

Soft landscape elements should:

- Emphasise Australian native plant species, complemented by suitable non-native plants.
- Be characteristic of the local environment.
- Be used to soften hard landscape elements such as walls and fences.
- Provide screening and shelter.

Change of levels within the garden to maximise use of open space can be achieved by retaining walls no greater than 900mm high, using recessive materials and/or planted batters no steeper than 1:5 and no higher than 1.5m high.

#### Landscape plan

A landscape plan is required to be prepared and to be submitted to the Design Panel in order to obtain final design endorsement. The plan must be drawn to a scale by a person with Landscape design or horticultural qualifications or similar (such qualifications must be endorsed on the plans).

The landscape plan is to detail:

- Location of individual tree canopies and stands of trees on or within 20 metres of the property boundary.
- Location of proposed trees to front and rear gardens including quantity, size and species.
- Turf and garden areas.
- Retaining walls including location, heights and materials.
- Paths and hard paving areas.
- Letterbox.
- Existing services.
- All plant species, locations and pot sizes



## 4.2 Fencing

If fencing is provided by the developer or vendor, it must not be altered without prior approval from the Design Panel. It is the responsibility of the owners to maintain the fence.

There are specific fence design requirements for the different types of lots and their locations. Please check your Building Envelope Plan for any requirements for your lot.

### Front fencing, fencing for dual frontage homes and corner lot fencing (All fence visible from street)

Dense hedge planting are to be placed along the front boundary, wrapping around the boundary on both sides up to 1m behind the adjacent building line. The plants are to be a minimum of 5 litre size with 500mm spacing at the time of planting. This will

- Provide consistency and character to both the streetscape / golf course.

Complement the appearance of your home and garden and create attractive green streetscape. Front fence is not mandatory however if front fence is being placed, acceptable fencing styles are:

- Metal palisade fencing. Refer to Type A diagram.
- Timber post and rail. Refer to Type B diagram.

All fencing provided to the public frontage must be concealed with hedging and should not exceed a maximum height of 1.5m combined. Fencing can be accented with rendered masonry, sandstone or timber posts. Timber posts are to be maximum width and depth of 200mm and height of 1.2m. All timber must be painted, stained or oiled in a dark colour.

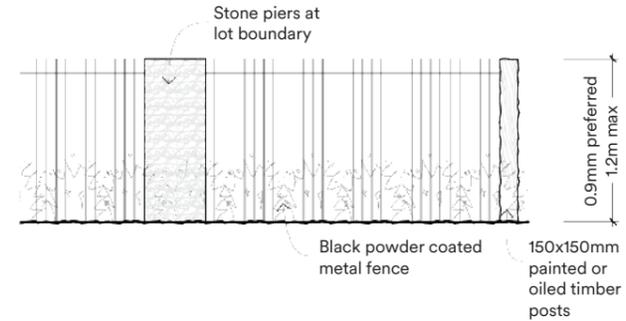


### Gates

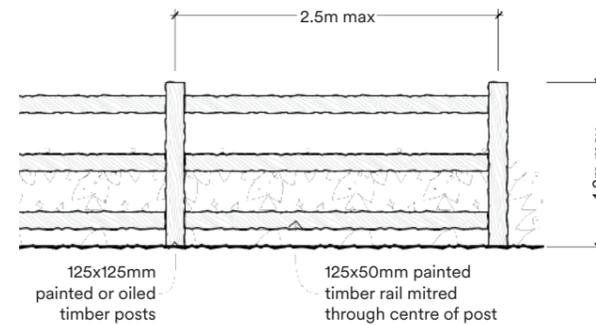
The right gate will complement the look of your house. Hardwood timber palings with spacing, vertical slats on a steel or aluminium frame matching the look of front fence are permitted. Lapped timber fencing is not permitted as a gate.

### Side and rear fencing

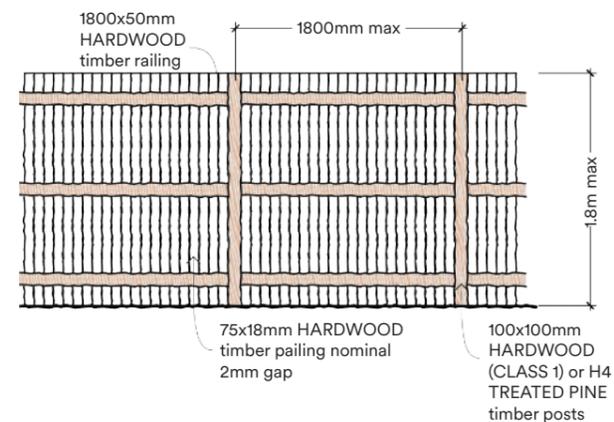
A timber paling side and rear fencing is required at the height of 1.8m finishing more than 1m behind the adjacent front corner of the house. Palings are to have nominal gap of 2mm. Refer to Type C diagram. Side fencing must be aligned with the front fencing and provide a raked transition to the front fencing. All timber must be Class 1 or 2 Hardwood. Rough sawn cut timber /treated pine will not be accepted.



Type A - Metal Palisade Fence with hedging



Type B - Post and Rail Fence - Two or Three rail with hedging



Type C - Side and Rear Fence

## Designing for your Environment

### 5.1 BASIX

Introduced in July 2004. BASIX is a NSW Government initiative aimed at ensuring homes are not overly reliant on artificial heating and cooling, minimise water usage and increase overall efficiency and sustainability.

BASIX is the mechanism for ensuring new homes comply with the prescribed energy and water reduction targets. The BASIX tool allows applicants to make a variety of choices in order to achieve these targets.

BASIX certification must be obtained by your home designer prior to the final design review by the Design Panel.

Further information on BASIX can be found at: [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

### 5.2 Sustainability Performance

As part of the Bingara Gorge community, we have a commitment to improving the quality and comfort of your home and striving for greater savings in energy and water usage.

A minimum 5 Star NATHERS (or equivalent rating) to improve the thermal performance of your home must be achieved. This can be used to demonstrate your pass in thermal comfort for your BASIX certificate.

A minimum BASIX Energy Score of 50 (50% Reduction in Green House Gas Emissions) must be achieved to improve the environmental performance of your home. To achieve this score a range of measures may be considered, but the following must be provided as a minimum:

- Gas boosted solar hot water system or similar to satisfy BASIX.
- Gas cook top.
- Gas fire places / Gas flued heater both permissible as a source of heating using gas.

### 5.3 Wilton Recycled Water Treatment Scheme

As part of its sustainable development plan, all lots within Bingara Gorge are connected to the Wilton Recycled Water Treatment Scheme. The Wilton Recycled Water (WRW) Plant treats waste water from residential, retail and commercial lots to a high standard and provides recycled water for toilet flushing, garden and golf course irrigation in return. You should ensure your builder connects your garden irrigation and toilets to the lilac recycled water network, and provides both a recycled water and potable water tap in your garden.

It is mandatory to connect the Recycled Water pipe to the laundry for washing machine use (cold tap).

As a private scheme, service costs are higher than those of Sydney Water and are reviewed by IPART under WICA (Water Industry Consultants Australia).

As stormwater is harvested from the site for reuse in golf course and greenspace irrigation, rainwater tanks are not permitted.

When your builder is ready to connect to the sewer or recycled water main, they should contact Wilton Recycled Water on 1300 552120 to apply for connection and pay the associated connection fee. Service and usage fees only apply once the property is connected.

Further information can be found at: [www.myrecycledwater.com.au](http://www.myrecycledwater.com.au)



### 5.5 Home Alarm System

Every home at Bingara Gorge is required to have a Home Alarm System installed during the home building process in accordance with the mandatory base package defined in the Community Title By-Laws.

The Home Alarm System shall be installed by ClubLINKS Services. In order for the System to be installed you will need to arrange the following.

- Advise your Builder that a security system will be installed by the Developer as an inclusion in your land purchase.
- Advise your Builder that they will need to provide access to ClubLINKS Services to install the System.
- Advise your Builder to provide a Data / Phone / Power point in the Main bedroom Walk in Robe. This is required to enable the Security System to be connected.
- If you install a “Communication Hub”, the security system can be connected to the Hub.

You may choose the base model or optional upgrades, which may be purchased directly from the Security Installer.

### 5.6 Mines Subsidence Board Requirements

Bingara Gorge, like much of south west Sydney, is in a designated Mine Subsidence area. As such, the Mine Subsidence Board (MSB) must approve your development application prior to lodgement with Wollondilly Shire Council. When designing your home, the following key requirements should be considered.

- The MSB Graduated Guidelines (available on the MSB website) govern the maximum dimensions of your home. Under these guidelines, the maximum dimension for any home is 30 x 18m however, depending on the number of storeys of your home and the method of footing construction, these maximum dimensions may be reduced.
- Swimming pools are limited to 100m<sup>2</sup> in area.

For more information, please contact the Mine Subsidence Board: [www.minesub.nsw.gov.au](http://www.minesub.nsw.gov.au)

### 5.7 Asset Protection Zones

An Asset Protection Zone (APZ) is an area between your home and bushland where the vegetation is maintained at a level that will not encourage or aid a bushfire. The APZ serves as a buffer and enables fire fighters and home owners to fight a bushfire. Your home cannot be constructed within the APZ and specific construction standards apply to homes constructed adjacent an APZ dependent on the proximity to the bushland.

Garages, sheds and the like may be constructed of non-combustible materials within the APZ provided that they are separated from your home by a minimum 10 metres or comply with the same construction standards as your home.

Fences, retaining walls and in-ground swimming pools may be constructed of non-combustible materials within the APZ. Above ground swimming pools may be constructed within the APZ but must not be constructed directly adjacent your home.

### 5.8 Property Maintenance

As a purchaser at Bingara Gorge you are required to adopt the following site management practices. These requirements will help maintain a clean and safe environment.

- Your property is required to be kept clear of excessive weeds and rubbish. Rubbish and builder’s waste is to be stored in an enclosed bin.
- All site deliveries must be stored within the property boundary at all times. The nature-strip, footpaths, roadways, neighbouring properties and public areas must be kept clear.
- Any damage to street trees, tree guards or footpaths and kerbs during construction is the responsibility of the property owner to repair.

## Document Checklist for Home Application

Please provide the Design Panel with three (3) copies of the following items including this completed checklist for Final Design Endorsement. Two copies will be stamped and returned to you for submission to Wollondilly Shire Council for Development Consent.

- Site plan showing existing contours, position of your home with setbacks dimensioned and proposed levels of your home.
- Floor plans showing the home layout including, dimensions and uses of each room.
- Roof plan.
- Shadow diagrams.
- House section showing existing and proposed ground levels, proposed floor levels, overall building height, pitch of roof and eaves dimension.
- Elevations of front, rear and sides of the proposed home with proposed/existing levels, and notating materials.
- Graphic board of proposed external materials and colours on all elevations (all external wall, roof, garage door, pedestrian path and driveway) including the manufacturer's name.
- Basix Certificate satisfying minimum of 5 Star NATHERS (or equivalent rating). Minimum BASIX Energy Score of 50 and include gas cooktop, gas boosted solar hot water system and gas flued heater/gas fire place.
- Landscape plan showing proposed house, fencing, existing and proposed trees, planting, driveway, pathways, retaining walls, decks, paved areas, spot levels and ancillary structures including pools, clothes lines etc.
- Completed Bingara Gorge House Design Checklist.
- Completed Application Form.



# Bingara Gorge House Design Checklist

Builder \_\_\_\_\_

House Type \_\_\_\_\_

Lot Number \_\_\_\_\_

Bingara Gorge Building and Siting Requirements	Yes	No	N/A	Additional Information
<b>Site Planning</b>				
House is located within Building Envelope Area				
Front				
Side				
Rear				
Minimum Private Open Space area of 6mx6m with at least 50% of area receiving 3 hours of sunlight between 9am-3pm on June 21 (winter)				
No retaining/terrace				
Indoor and Outdoor living are achieved (direct access to Outdoor living area from Internal living space)				
Corner Lot, corner facade treatment is achieved according to Building Envelope Plan				
<b>Floorplan</b>				
Dimensions comply with MSB 30x18m for lots under 2000sqm				
Home design responds to the slope of the block and cut & fill are minimised				
First Double car spaces are 1m behind the main enclosed building line, any additional garage require additional 1m min				
Garage width is less than 50% of the front facade				
First floor windows within 4.5m of side or rear boundary require privacy measures				
<b>All Elevations</b>				
Non decorative interpretation of country home				
Entrance seen from street				
All ground floor, internal floor to ceiling height is 2.65m				
Front elevation features such as, porches, pergolas, verandahs screens etc.				
All sides of home treated with equal importance with consistent materials and colour used				
Roof are minimum of 25 degrees pitch				
Eaves on all sides of the Home are minimum of 450mm				
Plumbing are concealed				
Garage Door is panel lift or panel glide				
For Double-storey home, all habitable room within 4:5m side boundary and 9m rear boundary have privacy measures				
<b>Materials</b>				
At least 40% of house are finished (rendered or coloured) masonry, face bricks are monochromatic and smooth-faced brick				
Roof material is Low Profile (flat) tiles or Prefinished metal				

<b>Driveways</b>				
Driveway materials are one of below: Paved, crushed gravel Plain concrete with border Coloured concrete No stencilcrete or stamped				
Pedestrian and Vehicular cross-overs are constructed of plain concrete				
Separate car and pedestrian path are provided				
500mm screen planting are placed between pedestrian path and driveway				
<b>Landscaping</b>				
Landscape plan satisfying Bingara Gorge Landscape Plan Checklist with necessary labels, levels and dimension				
Dense hedge planting are placed along the front boundary, wrapping around the boundary on both sides up to 1m behind the adjacent building line. The plants are to be a minimum of 5 litre size with 500mm spacing at the time of planting.				
Minimum of 3 trees which will attain a mature height of greater than 6m, one of these to be in front garden and two of these to be of a minimum size of 100 litres at time of planting				
Retaining walls within the front setback or forward of the home is constructed of sandstone or masonry to match the house				
<b>Fencing</b>				
Front Fence (check BEP) 1.2m max Open style w/ planting				
Side and Rear Boundary Fence 1.8m high dressed hardwood timber palings finished 1m behind adjacent building facade Palings not overlapped or capped				
Corner lots (check BEP) Front fencing provided on both frontage				
<b>Ancillary Structures</b>				
Not in Private Open Space Sheds 900mm off boundary, <12sqm in size				
Garbage bin located screened from view				
<b>Sustainability</b>				
Water Score of 40 or over in BASIX				
NATHERs rating of 5 or equivalent				
Energy Score of 50 or over in BASIX				
Gas boosted solar hot water system or similar				
Gas cooktop				
Gas flued heater or gas fire place				
Laundry, toilets and irrigation connected to the Recycled Water				

As the OWNER/ BUILDER/ AGENT (please circle).

I confirm the above information is correct and drawings are submitted in accordance.

Signature: \_\_\_\_\_ Date \_\_\_\_\_

Your house design and landscape plans will be reviewed by the Design Panel within 10 working days of submission.

If your plans do not comply with the Bingara Gorge Building and Siting Requirements the Design Panel will contact you to provide advice for design improvement. The Design Panel is not the 'consent authority' for any plans and apart from general advice and guidance is not able to assess whether submissions satisfy Wollondilly Shire Council or any other requirements from authorities.

Council's requirements for DA and other legislative controls must be carefully considered prior to lodging plans for approval.

## Application Form

### 1. Lot Address

\_\_\_\_\_

### 2. Owner Details

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Numbers:

Home: \_\_\_\_\_

Business: \_\_\_\_\_

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

### 3. House Builder Details

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Numbers:

Home: \_\_\_\_\_

Business: \_\_\_\_\_

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

### 4. Home Designer (If different from Builder)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Numbers:

Home: \_\_\_\_\_

Business: \_\_\_\_\_

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

Signed: \_\_\_\_\_

Date:                    /     /

#### **Lendlease Home Design Developer for all Approvals**

Lendlease NSW projects are now managed by Beveridge Williams Consultants. All new applications should be submitted through the Lendlease Builder Hub at [www.lendleasebuilderagenthub.com.au](http://www.lendleasebuilderagenthub.com.au) or at [www.portal.beveridgewilliams.com.au](http://www.portal.beveridgewilliams.com.au)

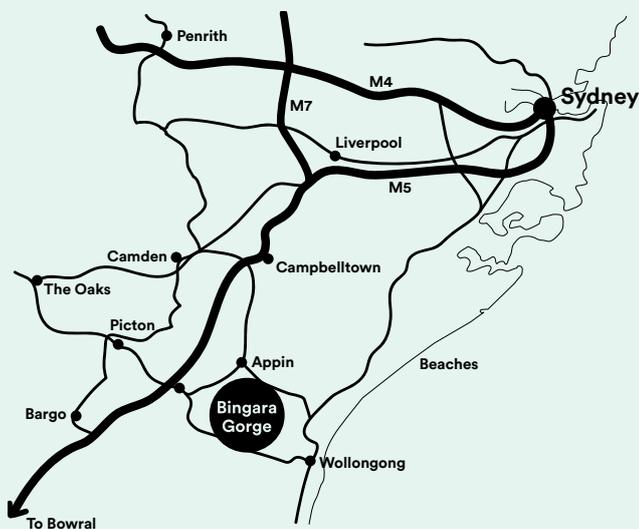
**General customer queries** relating to Covenants should be re-directed to Beveridge Williams [planlodgement@bevwill.com.au](mailto:planlodgement@bevwill.com.au)

## We create the best places

Community. Collaboration. Connection. Just a few of the ingredients that combine to create a meaningful life.

Add to that an environment that fosters a sense of belonging, friendship, support and endless opportunity, and you have the recipe for happy living that Lendlease has perfected over more than 60 years of building master planned communities. Our focus is on creating lifestyles fuelled by the power of people coming together.

Whether you're an introvert, extrovert, social butterfly, couch potato, paleo, gluten-free or any variation on the dazzling spectrum of humanity, this is where you'll fit right in. It's holistic living at its finest. Welcome to the place you'll be proud to call home.



[www.bingaragorge.com.au](http://www.bingaragorge.com.au)

Phone: 1800 647 155

### Customer Service

Monday – Friday: 9.00am – 5.00pm

Saturday & Sunday: 10.00am – 5.00pm



BINGARA GORGE

