



BINGARA GORGE

Home Design Guidelines

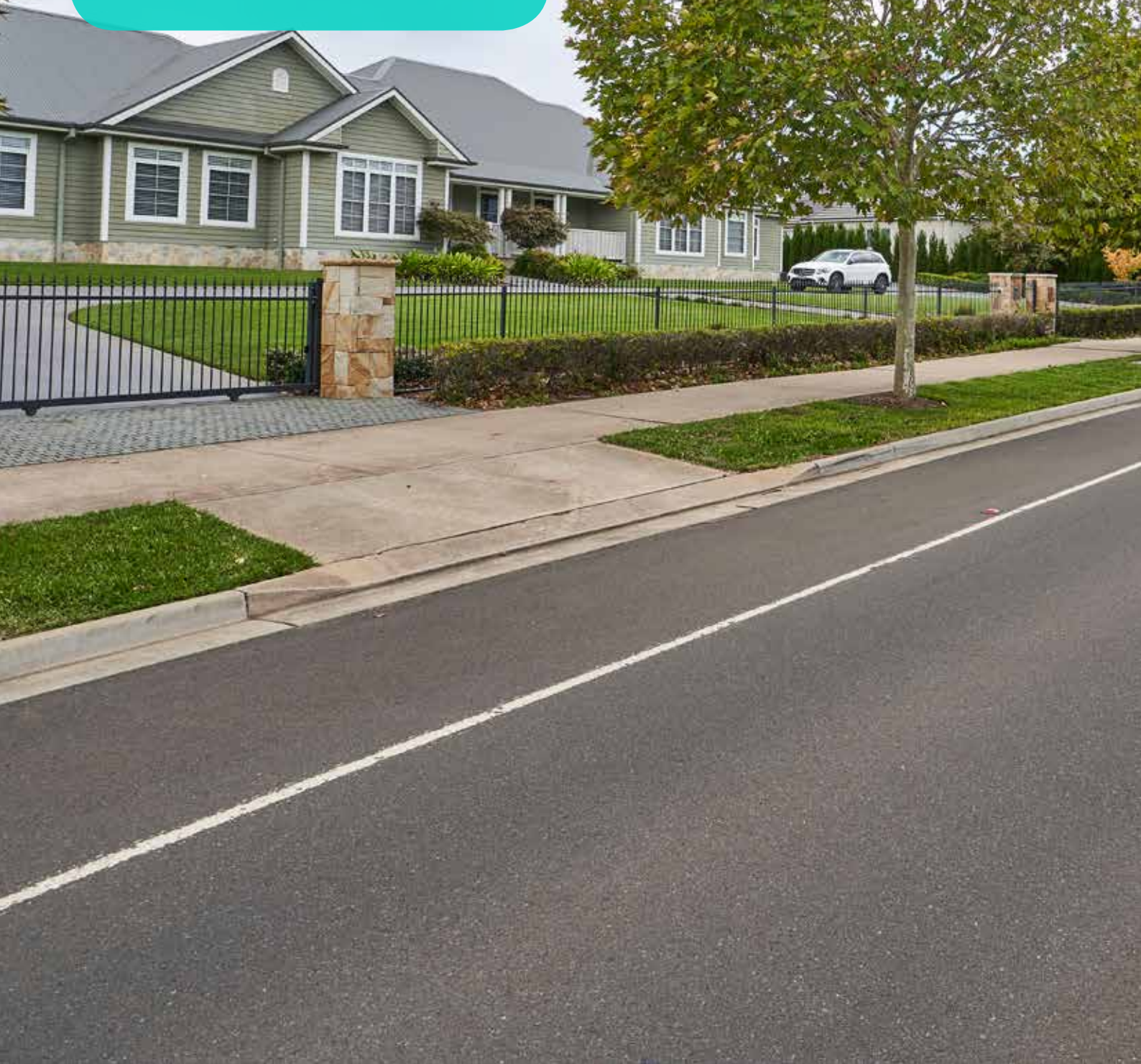


The Village Release



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Introduction



Welcome to Bingara Gorge, an award-winning masterplanned community set in picturesque surrounds. Located near Wilton, in Sydney's South West, Bingara Gorge offers premium family living with a difference.

From family homes and professional pads to low-maintenance living and everything in between, Bingara Gorge offers homes to suit a range of budgets and lifestyles.

You will be able to individually design your own home by using the requirements set out in this document or choose a home from one of our partner builders.

This document provides design direction for your home at Bingara Gorge. Approval must be obtained for your home from the Design Panel prior to obtaining other approvals, including Wollondilly Shire Council's development consent.

We look forward to welcoming you to the Bingara Gorge community.

Home Approval Process

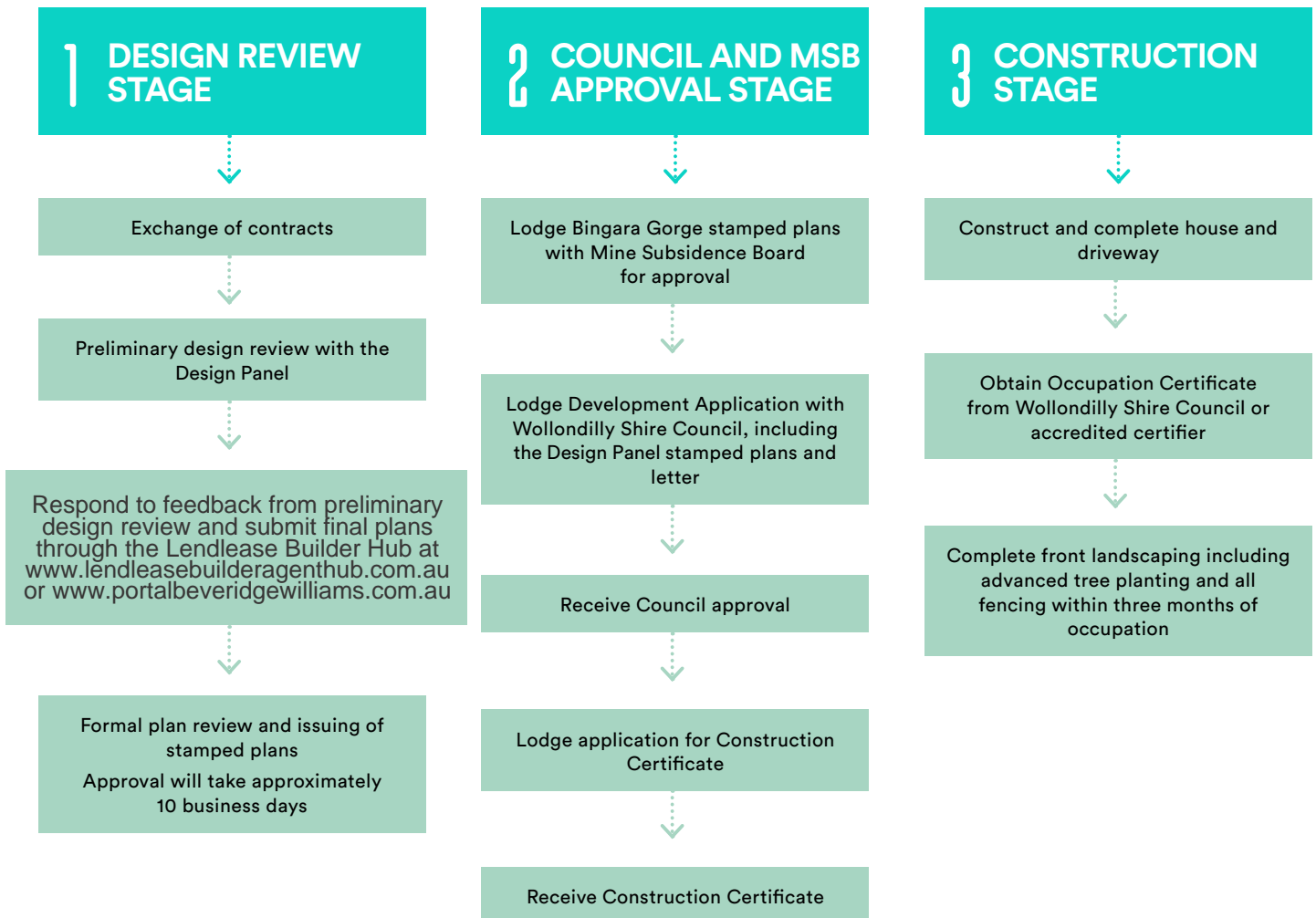
The Bingara Gorge Sales team and Design Panel will assist you through all steps required in purchasing your property, home design review and final approval.

All home designs including any changes to your house before, during or after construction (renovations or alterations) require review from the Design Panel.

As part of the review process, an approval will also need to be obtained from the Mine Subsidence Board (MSB) and the Wollondilly Shire Council.

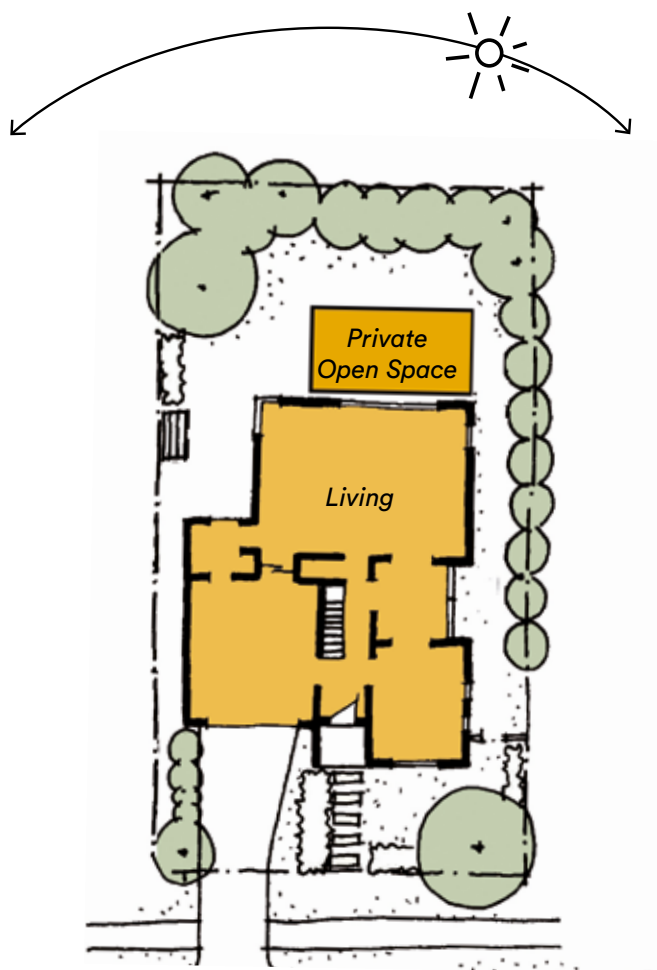
Timing is important, as construction of your new home, including driveway, front landscaping with advanced tree planting and fencing, must commence within 18 months and be completed within 30 months of settlement of your property. The house and driveways must be completed before occupation.

Home Design and Approval Process



Key Considerations

- Only one home per block is permitted. One granny flat is permissible up to 60m² in size on lots greater than 450m².
- Trees that have been retained within your property and on the street verge cannot be removed unless approved by Wollondilly Shire Council and the Bingara Gorge Covenant Officer.
- No temporary or relocatable buildings or structures may be erected or located on a block.



Principal Private Open Space,
Orientation & Existing vegetation

Building Character

All home designs in Bingara Gorge are to draw inspiration from the rich architectural heritage of traditional country towns. This will include the use of traditional building forms, high roof pitches, chimneys, generous eave widths, use of verandahs and simple natural colour palettes.

Below are some indicative facade images recommended for The Village release.



PLANNING AND SITING YOUR HOME

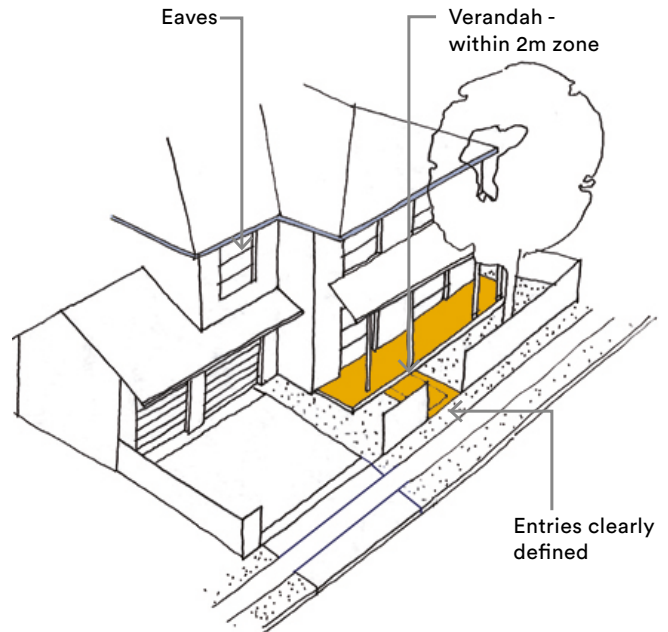
The following must be considered when siting your home:

- Homes are to be designed for indoor and outdoor living responding to the orientation of your site.
- Minimum 36m² of private open space area must be provided (minimum dimension of 4m x 4m principal area of private open space is required directly connected to a living room and with a gradient not exceeding 1 in 15).

APPEARANCE OF YOUR HOME

The following must be addressed in the appearance of your home:

- Entries clearly defined and seen from the street.
- Your home design must incorporate a well proportioned architectural feature such as a verandah, portico or pergola fronting the street.
- Columns are to be well proportioned and to be a minimum of 150mm or alternatively two x 100mm posts.
- All sides of the house are to be treated with equal importance. The same quality of materials must be used on all elevations of the house.
- All plumbing and ductwork is to be concealed except for downpipes. Duct locations are to be shown internally on plans for all two storey homes.
- The same house facade is to repeat no more than one in five houses.
- Where the separation between windows to habitable rooms of neighbouring dwellings is less than 9m, privacy measures are to be placed.
- Block out security shutters are not permissible on front elevations.



The front of your home must have features such as entries, pergolas and verandahs

Building Envelope Plan

Building Envelope Plans show how your home must be sited on your property. The area within the setbacks is the area in which you can build your home and is called the building zone. The setbacks are aimed at protecting amenity between neighbours whilst providing flexibility for planning your home.

Height Limits and Floor Levels

The height limits provide consistency and reduce overshadowing and impact on adjoining properties.

- Homes are to be a maximum of two storeys.
- Two-storey homes are to have a maximum external wall height to the underside of eaves of 7.2m and a maximum total building height to the ridge of 9.5m.
- Cut and fill and retaining walls or external landscaped walls along the boundary must not be greater than 1m in height (500mm for each neighbour).
- Retaining walls on the front boundary must be incorporated into the fencing base and be a maximum height of 500mm.
- Retaining walls within your front setback or forward of the home must be constructed of sandstone or masonry to match the dwelling. Plain concrete block, concrete sleepers and timber retaining walls are not permitted.

Garages and Driveways

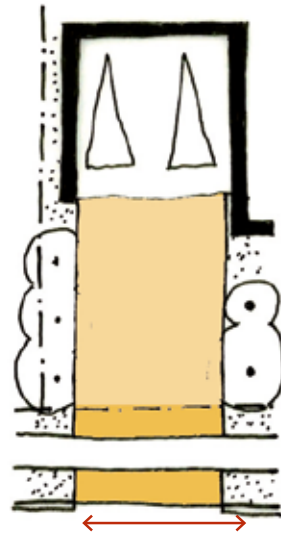
Attractive streetscapes are created by reducing the impact of garages and driveways along streets. Specific requirements include:

GARAGES

- A minimum of two off-street parking spaces with at least one enclosed garage space is to be provided on each block.
- Minimum setback to the garage is 5.5m and 1m behind the main building line. Garage locations are shown on the Building Envelope Plan.
- Garage doors are to be panel lift or panel glide style.

DRIVEWAYS

- Location of vehicular cross-overs to the street is shown on the Building Envelope Plan. If not shown, the house should be oriented to maximise the opportunities for solar access.
- Driveways must abut footpaths so the footpath is continuous and not interrupted by driveways.
- Driveways must be constructed from either paving, or coloured concrete. Stencilled or stamped concrete in a paver pattern is permitted.
- The driveway must be a minimum of 1m away from the side boundary to accommodate screen planting or turf.
- A separate pedestrian footpath is required from the property boundary to the front door.
- Vehicular cross-overs to the street shall be a maximum of 5m in width.
- The pedestrian and vehicular cross-overs from boundary to street must be constructed from plain concrete.



Double vehicular cross-over width 5m max

All vehicular cross-overs must be plain concrete and maintain straight alignments. Splays are not permitted.



External Materials and Colour

Materials and colours contribute to the character of a house and differentiate it from other homes within its neighbourhood. A mix of building materials creates visual interest. It is strongly encouraged that at least two of the materials listed below be incorporated into your home design.

MATERIALS

MASONRY:

- Rendered or painted brickwork.
- Face brickwork - monochromatic (single colour) with a smooth face.
- Stone.

LIGHTWEIGHT:

- Timber or fibre cement weatherboards.
- Pre-finished metal sheeting.
- Painted fibre cement sheeting may be used in gable ends and roof structures, with texture coat paint finishes.
- Other materials may be used on their design merit.

COLOURS:

- Natural earthy toned colours that will suit the natural environment of Bingara Gorge, such as off-whites, browns, greens, creams, and greys are permitted as the main colour for walls, garage doors and other major surfaces.
- Accent materials such as fascias, gutters, window trims, front doors, balustrades and handrails should be complementary colour to the house. The colour of gutters should match the roof tile for a cleaner architectural result and downpipes should match the adjacent wall colour and not be highlighted.

Roof Design

Roof style and colours are an important consideration in the design of your new home.

- Hipped and gable roofs must have a minimum pitch of 22 degrees.
- Eaves must be incorporated into the roof design. The minimum eave width is 450mm on all sides of the home including garage and does not include fascia and gutter.
- Innovative roofs such as flat, skillion and curved will be assessed on their design merit by the Design Panel.



ROOFING MATERIALS

Acceptable roofing materials are:

- Prefinished sheet metal roofing.
- Slim profile flat style roof tiles. The tiles are to be non-reflective concrete or terracotta tiles with a non-glazed finish.

Fencing

Appropriate use of fencing will serve to delineate space between the private and public areas, between properties and provide privacy to front and rear gardens.

If fencing is provided by the developer, it must not be altered without prior approval from the Design Panel. It is the responsibility of the owners to maintain the fence.

FRONT FENCING, FENCING FOR DUAL FRONTAGE HOMES AND CORNER LOT FENCING (ALL FENCE VISIBLE FROM STREET)

It is mandatory for you to provide front fencing to your property. The types of fences permitted are shown adjacent. Please check your Building Envelope Plan for any specific requirements for your lot.

Acceptable front fencing styles are:

- Picket fencing at 900mm height. Refer to Type A diagram.
- Metal palisades fence at 900mm height. Refer to Type B diagram.

Fencing can be accented with masonry, sandstone or timber posts. Timber posts are to be maximum width and depth of 200mm and height of 1.2m.

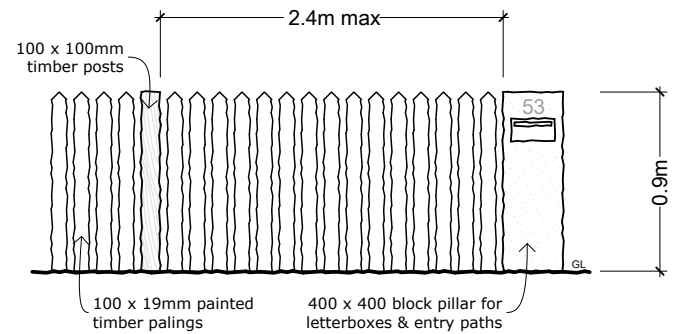
All timber picket fencing must be painted, stained or oiled in white, cream or light grey colour to reinforce the countrytown feel of Bingara Gorge. The return of the front fence along the side boundary is to continue 1m behind the adjacent front wall of the house.

SIDE FENCING

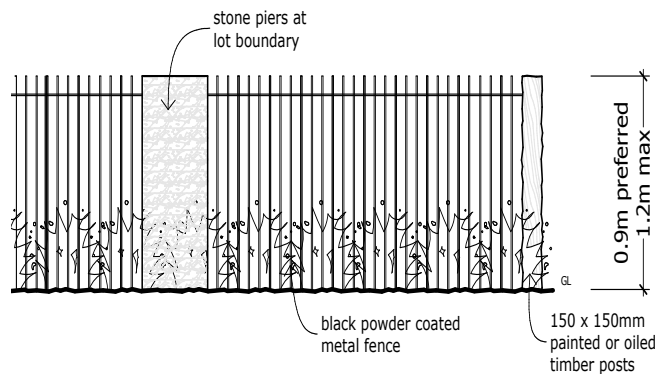
A timber paling side fence is required at the height of 1.8m finishing more than 1m behind the adjacent front corner of the house. Side fencing must be aligned with the front fencing and provide a raked transition to the front fencing. Refer to Type C diagram. All timber must be Class 1 or 2 Hardwood or H4 Treated pine finished to match hardwood. Rough sawn cut timber will not be accepted.

GATES

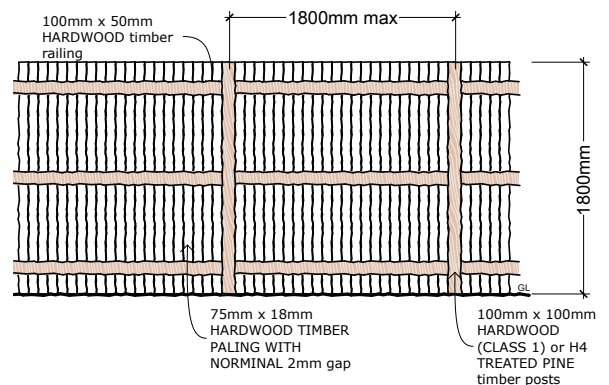
The right gate will complement the look of your house. Hardwood timber palings with spacing, vertical slats on a steel or aluminum frame painted in a colour matching the look of the front fence are permitted.



Type A - Picket front fence



Type B - Metal palisades front fence



Type C - Timber internal side fence



Double garages on 10m & 11m lots - 3m front setback

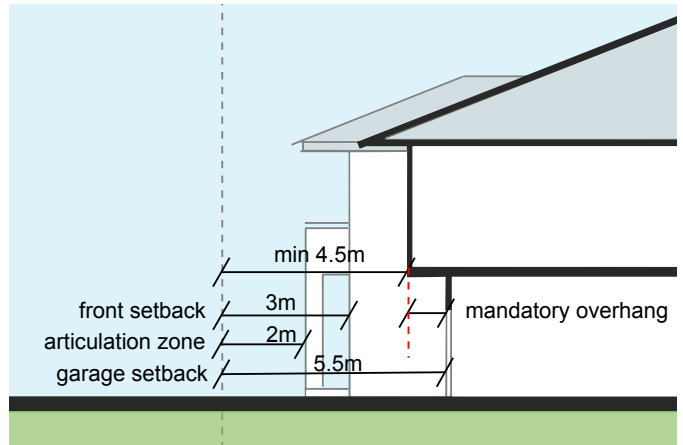
This information applies to the following lots with a 3m front setback as indicated on the Building Envelope Plan: Lots 168, 169, 170, 171, 172, 173, & 174, located on Spearing Street and Lots 181, 182, 184, 185 & 186, located on Road 1.

DESIGN CONTROLS

Double garage homes may be permissible on these lots on a merit based assessment by Wollondilly Council. The Council has expressed that the preferred options are staggered and stacked garage arrangement.

To ensure consideration please follow these site specific guidelines:

- The home must be two storey.
- The garage must be setback a minimum of 5.5m from the front boundary.
- The upper floor, whether enclosed space or a verandah, must overhang the front of the garage by a minimum of 600mm to reduce the dominance of the garage to the street.
- A mix of materials must be used on the front facade and any projecting elements.
- Consider lighter colour garage doors.



Front setbacks showing upper storey overhang requirement



Garage options for merit based assessment

Double garages on 10m & 11m lots - 4.5m front setback

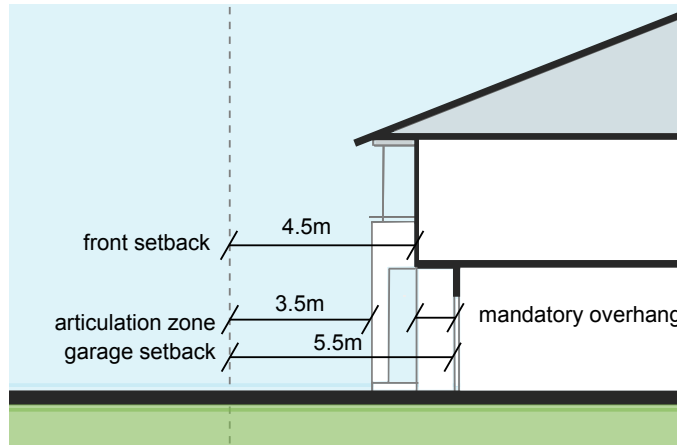
This information applies to the following lots with a 4.5m front setback as indicated on the Building Envelope Plan: Lots 177, 178, 198, 199, 200, 201 & 202, located on Road 1.

DESIGN CONTROLS

Double garage homes may be permissible on these lots on a merit based assessment by Wollondilly Council. The Council has expressed that the preferred options are staggered and stacked garage arrangement.

To ensure consideration please follow these site specific guidelines:

- The home must be two storey.
- The garage must be setback a minimum of 5.5m from the front boundary.
- The upper floor, whether enclosed space or a verandah, must overhang the front of the garage by a minimum of 600mm to reduce the dominance of the garage to the street.
- A mix of materials must be used on the front facade and any projecting elements.
- Consider lighter colour garage doors.



Front setbacks showing upper storey overhang requirement.



Garage options for merit based assessment

Your Garden & Ancillary Structures

The character of Bingara Gorge will build upon natural attributes to create a unique country garden community setting.

Garden Design

SOFT LANDSCAPE

Soft landscape elements include trees, shrubs, groundcovers, mulches and turf. To achieve a successful landscape setting for your home the following are required:

- Three trees, which will attain a mature height of greater than 6m, are to be planted by the resident. A minimum of one of these trees is to be planted within the front garden area. Two of these trees are to be of a minimum container size of 100 litres when planted and one of these must be in the front garden.
- The majority of the remaining open space of your property, outside of the house footprint, driveway, garage and pool should be soft landscaped, with a balance between turf and planting beds.

LANDSCAPE PLAN

A landscape plan is required to be prepared and to be submitted to the Design Panel to obtain final design endorsement. The plan must be drawn to a scale by a person with landscape design or horticultural qualifications or similar (such qualifications must be endorsed on the plans).

Landscaping to the site is to comply with the principles of Appendix 5 of 'Planning for Bush fire Protection 2006'.

The landscape plan is to detail:

- Location of individual tree canopies and stands of trees on or within 20 metres of the property boundary.
- Location of proposed trees to front and rear gardens including quantity, size and species.
- Turf and garden areas.
- Retaining walls including location, heights and materials.
- Paths and hard paving areas.
- Letterbox.
- Existing services.
- All plant species, locations and pot sizes.

Ancillary Structures

Ancillary structures refer to any additional structures or elements you may wish to add to your home, for example satellite dishes, clothes lines, air conditioners etc.

- All ancillary structures must be kept to the rear half of your property, screened from public view and not located in your principal private open space.
- TV antennas are not required as free to air TV can be provided through fibre optic infrastructure. Should you wish to have a TV antenna, it must be located to the rear of your house, below the ridgeline. Satellite dishes and air conditioners must be located to the rear of your house, below the ridgeline.

SWIMMING POOLS

- Swimming pools and associated pumps and filters must be screened from view from neighbouring homes and public open space.
- An underground water storage tank must be placed to capture pool overflow.
- Swimming pool fencing must comply with relevant Australian Standards and Building Codes of Australia.

LETTERBOX

- Letterboxes must use materials and colours consistent with the house. Letterboxes are not to be greater than 1.2m in height. Temporary or makeshift letterboxes are not permitted.

CHIMNEYS

- Chimneys are encouraged to be constructed of stone, cladding or masonry and consistent with the house. Chimneys should not exceed the maximum height of the roofline by 1m.

SHEDS

- Garden and storage sheds 12m² and less must be located 900mm off the boundary and will not require approval from the Design Panel.
- Prefabricated metal sheds over 12m² must be located within the building zone and the roof and wall materials must be similar to the main dwelling.

SIGNAGE

- Signage for home business must be submitted for approval.
- All other signs other than real estate signs, builders' signs and development signage are prohibited.

Designing For Your Environment

BASIX

BASIX is a NSW Government initiative aimed at ensuring homes are not overly reliant on artificial heating and cooling, minimise water usage and increase overall efficiency and sustainability. As part of the Bingara Gorge community, we have a commitment to improving the quality and comfort of your home and striving for greater savings in energy and water usage.

To improve the environmental performance of your home, BASIX certification achieving minimum Energy Score of 50 must be obtained by your home designer prior to the final design review by the Design Panel.

Further information on BASIX can be found at:
www.basix.nsw.gov.au

Wilton Recycled Water Treatment Scheme

As part of its sustainable development plan, all lots within Bingara Gorge are connected to the Wilton Recycled Water Treatment Scheme. The Wilton Recycled Water (WRW) Plant treats wastewater from residential, retail and commercial lots to a high standard and provides recycled water for toilet flushing, garden and golf course irrigation in return. You should ensure your builder connects your garden irrigation and toilets to the lilac recycled water network, and provides both a recycled water and potable water tap in your garden.

It is mandatory to connect the Recycled Water pipe to the laundry for washing machine use (cold tap).

As a private scheme, service costs are higher than those of Sydney Water and are reviewed by IPART under WICA (Water Industry Consultants Australia). Your water usage cost could be up to 10% less than that of Sydney Water Corporation. It can be adjusted from time to time. So for further information please visit www.wiltonrecycledwater.com/accounts-and-billing.

As stormwater is harvested from the site for reuse in golf course and greenspace irrigation, rainwater tanks are not permitted.

When your builder is ready to connect to the sewer or recycled water main, they should contact Wilton Recycled Water on 1300 552 120 to apply for connection and pay the associated connection fee. Service and usage fees only apply once the property is connected.

Further information can be found at:
www.myrecycledwater.com.au

Home Alarm System

Every home at Bingara Gorge is required to have a home alarm system installed during the home building process in accordance with the mandatory base package defined in the Community Title By-Laws.

A home alarm system is included with the purchase of your land and will be installed by ESP Security. In order for the System to be installed you will need to arrange the following.

- Advise your Builder that a security system will be installed by Lendlease's security provider, ESP Security as an inclusion in your land purchase.

- Advise your Builder that they will need to speak to ESP Security prior to commencing work on the electrical plans for your home.
- If you install a "Communication Hub", the security system can be connected to the Hub.

An appointment will be arranged with you, your builder and ESP Security at the design review stage to tailor the system to suit your home design. You may choose the base model or optional upgrades, which may be purchased directly from the Security Installer.

Mine Subsidence Board Requirements

Bingara Gorge, like much of south west Sydney, is in a designated Mine Subsidence area. As such, the Mine Subsidence Board (MSB) must approve your development application prior to lodgement with Wollondilly Shire Council.

For more information, please contact the Mine Subsidence Board:
www.minesub.nsw.gov.au

Asset Protection Zones

An Asset Protection Zone (APZ) is an area between your home and bushland where the vegetation is maintained at a level that will not encourage or aid a bushfire. The APZ serves as a buffer and enables fire fighters and home owners to fight a bushfire. Your home cannot be constructed within the APZ and specific construction standards apply to homes constructed adjacent to an APZ dependent on the proximity to the bushland.

Garages, sheds and the like may be constructed of non-combustible materials within the APZ provided that they are separated from your home by a minimum 10 metres or comply with the same construction standards as your home. Fences, retaining walls and in-ground swimming pools may be constructed of non-combustible materials within the APZ. Above ground swimming pools may be constructed within the APZ but must not be constructed directly adjacent your home.

Property Maintenance

As a purchaser at Bingara Gorge you are required to adopt the following site management practices. These requirements will help maintain a clean and safe environment.

- Your property is required to be kept clear of excessive weeds and rubbish. Rubbish and builder's waste is to be stored in an enclosed bin.
- All site deliveries must be stored within the property boundary at all times. The nature-strip, footpaths, roadways, neighbouring properties and public areas must be kept clear.
- Any damage to street trees, tree guards or footpaths and kerbs during construction is the responsibility of the property owner to repair.

Document Checklist

Lendlease Home Design Developer for all Approvals

Lendlease NSW projects are now managed by Beveridge Williams Consultants. All new applications should be submitted through the Lendlease Builder Hub at www.lendleasebuilderagenthub.com.au or at www.portal.beveridgewilliams.com.au

General customer queries relating to Covenants should be re-directed to Beveridge Williams planlodgement@bevwill.com.au

Please provide the Design Panel with the following documentation in order to fully review and endorse the design.

- Site plan showing existing contours, position of your home with setbacks dimensioned and proposed levels of your home.
- Floor plans showing the home layout including, dimensions and uses of each room.
- Roof plan.
- Shadow diagrams. (Two storey home)
- House section showing existing and proposed ground levels, proposed floor levels, overall building height, pitch of roof and eaves dimension.
- Elevations of front, rear and sides of the proposed home with proposed/existing levels, and notating materials.
- Graphic board of proposed external materials and colours on all elevations (all external walls, roof, garage door, pedestrian path and driveway) including the manufacturer's name.
- Basix Certificate satisfying minimum Energy Score of 50.
- Landscape plan showing proposed house, fencing, existing and proposed trees, planting, driveway, pathways, retaining walls, decks, paved areas, spot levels and ancillary structures including pools, clothes lines etc.
- Completed Bingara Gorge House Design Checklist.



House Design Checklist

Builder _____

House Type _____

Lot number _____

Bingara Gorge Building and Siting Requirements	Yes	No	N/A
Site Planning			
House is located within Building Envelope Area			
Minimum private open space area of 4m x 4m and area of 36m ² No retaining/terrace			
Indoor and outdoor living are achieved (direct access to outdoor living area from Internal living space)			
Corner lot, corner facade treatment is achieved according to Building Envelope Plan			
Floor Plan			
Dimensions comply with MSB 30x18m			
Home design responds to the slope of the block and cut & fill are minimised			
First double car spaces are 1m behind the main enclosed building line, any additional garage require additional 1m min			
All Elevations			
Non decorative interpretation of country home			
Front elevation features such as, porches, pergolas, verandahs screens etc.			
All sides of home treated with equal importance with consistent materials and colour used			
Roof are minimum of 22 degrees pitch			
Eaves on all sides of the Home are minimum of 450mm			
Plumbing is concealed			
For double-storey home, all habitable room within 4:5m side boundary and 9m rear boundary have privacy measures			
Materials			
Minimum use of 2 materials to facades including masonry. Face bricks are monochromatic and smooth-faced brick			
Roof material is low profile (flat) tiles or prefinished metal			

Driveways			
Pedestrian and vehicular cross-overs are constructed of plain concrete			
Separate car and pedestrian path are provided			
500mm screen planting are placed between pedestrian path and driveway			
Landscaping			
Landscape plan checklist with necessary labels, levels and dimension			
Minimum of 3 trees which will attain a mature height of greater than 6m, one of these to be in front garden and two of these to be of a minimum size of 100L at time of planting			
Retaining walls within the front setback or forward of the home is constructed of sandstone or masonry to match the house			
Fencing			
Front fence 900mm high simple pointed or square topped picket fence painted in a light colour			
Side and rear boundary fence 1.8m high dressed timber palings finished 1m behind adjacent building facade, cannot be capped			
Corner lots (check BEP) front fencing provided on both frontage			
Ancillary Structures			
Not in private open space. Sheds 900mm off boundary, <12sqm in size			
Garbage bin located screened from view			
Sustainability			
Energy Score of 50 or over in BASIX			
Laundry, Toilets & Irrigation connected to Recycled Water			

As the OWNER/ BUILDER/ AGENT (please circle).

I confirm the above information is correct and drawings are submitted in accordance.

Signature: Date

Your house design and landscape plans will be reviewed by the Design Panel within 10 working days of submission. If your plans do not comply with the Bingara Gorge Home Design Guidelines the Design Panel will contact you to provide advice for design improvement. The Design Panel is not the 'consent authority' for any plans and apart from general advice and guidance is not able to assess whether submissions satisfy Wollondilly Shire Council or any other requirements from authorities. Council's requirements for DA and other legislative controls must be carefully considered prior to lodging plans for approval.

Creating Special Places

For over 50 years Lendlease has been creating communities that define the way Australians like to live. Truly beautiful places planned to maximise the things we love about our unique way of life.

Lendlease has a simple goal – to create better places to live for all. As a leading international property group, we create communities that leave a positive legacy by setting world leading standards for safety, innovation and sustainability. We've created and delivered more than 50 masterplanned communities in Australia and around the world, over the past 50 years.

At Lendlease, our communities are linked by a common interest – doing the right thing leads to a better outcome for everyone. Lendlease design and create new communities across Australia for people to build homes, live, work, shop, play and grow together.

We believe everyone who comes and experiences our places should feel safe within a welcoming community that will grow and prosper into the future.

We lead by example. Across the country, communities that we are responsible for continue to flourish, nurturing the very essence of what we believe for generations to come. These are the places that make us proud.

