

belong at Jordan Springs

(Eastern Precinct)

Your guide to building
a new home



JORDANSPRINGS

Created by

lendlease

belong at Jordan Springs

jordansprings.com.au 1800 086 656

Introduction

The process of building your new home

The guide to Building Your New Home spells out the requirements for new homes at Jordan Springs.

It aims to simplify and streamline the building process.

Ultimately these guidelines aim to protect your investment by ensuring a consistent standard of homes are constructed within the community. The

process to achieve design and siting approval at Jordan Springs can easily be achieved by following these simple steps:

Step 1: Jordan Springs design approval

- Review the Building and Siting Guidelines alongside your Building Envelope Plan ensuring that you are aware of all the requirements for your block.
- Work with your builder and/or architect to select the design of your home and landscape.
- Obtain advice from the Design Panel.
- Lodge your house plans with the Design Panel.
- If you are required to make some changes discuss these with your builder and/or architect and re-lodge your plans with the Design Panel, including the relevant changes. The Design Panel has the ability to review and stamp plans based on merit.

Step 2: Complying development code

Complying Development Code is able to be used at Jordan Springs. You have the opportunity to use a Private Certifier for your approval if your home meets the Complying Development Code. If your home does not meet the Complying Development Code you are required to obtain development consent from Penrith City Council.

Private Certifier

- Lodge plans with your nominated Private Certifier including plans stamped by the Design Panel.
- Receive Complying Development Code Certificate (CDC).

Council

- Lodge Development Application using Development Control Plan (DCP) Policy with Penrith City Council including design plans stamped by the Design Panel.
- Receive DA Approval.
- Lodge application for Construction Certificate with either Council or Private Certifier.

Step 3: Construction

- Complete dwelling construction.
- Obtain an Occupation Certificate provided by Council or Private Certifier.
- Complete landscaping and fencing.

Checklist of key steps:

- Settlement of land.
- Opportunity to discuss initial concept plans with the Design Panel.
- Design Panel approval.
- Private Certifier Certification or Penrith City Council development approval.
- Completion of house and occupation certificate.
- Completion of landscaping and fencing.

Design controls

The front of your home

FRONT SETBACK

Front setback is 4.5m minimum from the front boundary.

ARTICULATION ZONE

Articulation zone is 1m forward of the front setback.

VERANDAHS AND PORTICOS

Verandahs and porticos are encouraged in the articulation zone forward of the front setback.

GARAGE SETBACK

Garage setback is 5.5m minimum from the front boundary and 1m behind the main dwelling façade. The garage location is shown on the building envelope plan. Garage doors are to be sectional or panel lift doors. Carports are not permitted.

DRIVEWAYS

Driveways are to be 3m wide for a single garage and 5m for a double garage. Any driveway treatment such as stenciled concrete or paving is to end at the front lot boundary. From the front lot boundary to the kerb, plain concrete is to be used to Penrith City Council requirements. Footpaths are to remain continuous along the street and are not to be interrupted by driveways.

EAVES

Eaves are to be a minimum of 450mm excluding fascia and gutter. A reduced eave of 300mm excluding fascia and gutter is permitted only where a single storey house element is proposed on a Villa (10m wide), Premium Villa (12.5m wide) or Courtyard (15m wide) lot, that is affected by a maintenance easement. Single storey elements of a home cannot have an eave overhanging a maintenance easement. This may require an increased setback for construction adjacent to the maintenance easement (see side setbacks section).

ROOF PITCH

Roof pitch is to be minimum 22.5 degrees for hipped, or gabled roofs and minimum 10 degrees for a skillion roof. Flat roofs are to be concealed behind a parapet.

FRONT FENCING

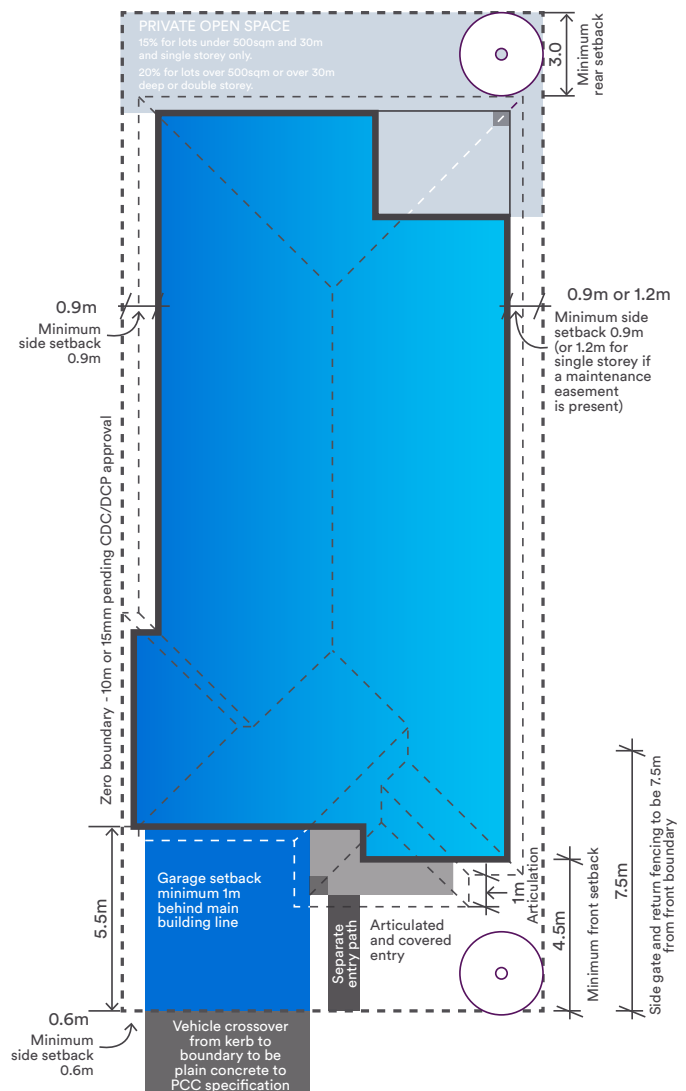
General front fencing is not mandatory unless specified on your Building Envelope Plan, and should be no higher than 1.2m.

LETTERBOXES

Letterboxes are to be of solid construction to complement the design of the house and be integrated into any front fencing. Letterboxes on posts are not permitted.

MATERIALS

A mix of materials is to be provided to façades which faces the street. Multi coloured bricks or roof tiles are not permitted. Home construction should be of minimum 60% brick, masonry or render finishes (excluding windows and openings) with other materials such as light weight materials considered on architectural merit.



Design controls

Typical front façade



Key design elements

- 1 Balcony overlooks the street
- 2 Example of contemporary roof
- 3 Articulated facade adds interest
- 4 Front of house 4.5m from front boundary
- 5 Mix of materials and colours adds interest
- 6 Eaves for shading and weather protection
- 7 900mm setback from side boundary
- 8 Garage setback 1m from front wall (5.5m from front boundary)
- 9 Plain concrete to the street
- 10 Coloured concrete or paving inside the boundary
- 11 Covered front porch adds interest
- 12 Front fencing adds interest and should not exceed 1.2m height

Design controls

Corner lot - secondary frontage (side street)



Key design elements

- 1 Secondary frontage fencing provides privacy for rear yard but some views of side street
- 2 Private open space screened from the street
- 3 Articulation 1m from the side of the house
- 4 Balcony overlooks the side street, adding interest
- 5 Side of house set back 1.5m from side boundary
- 6 Mix of materials and colours adds interest
- 7 Windows overlooking the street adds interest and provides surveillance

Design controls

The side of your home

SIDE SETBACK

Side setback is 0.9m and/or zero if applicable to your lot. A zero lot boundary means that on the ground floor you can build to the boundary on the nominated side of the lot to a maximum length of 10-13m subject to CDC/DCP approval. Any zero lot boundary construction is to provide a drop edge beam to 650mm below natural ground level. Where a wall is constructed on the “build to boundary” line of a lot, additional fencing is not permitted next to this wall.

A 900mm setback applies to upper storeys on a zero boundary. Gutters are not to encroach neighbouring properties. If you choose not to build to the boundary then a minimum setback of 900mm applies. Eaves on a single storey home are not to encroach on any easements.

A 1.2m side setback (for 300mm eaves) or 1.35m setback (for 450mm eaves) is required on side elevations adjacent to a maintenance easement. Eaves are not to be within 450mm of the boundary on upper storeys.

CORNER LOT HOMES

Corner lot frontage homes shall provide a secondary building frontage of 10m minimum. This is to include a broken roof line, articulated building line and suitable glazing. The secondary frontage should be setback 1.5m from the secondary side boundary facing the street.

SIDE FENCING

Side fencing returns or gates are to finish 7.5m behind the front boundary or 2m behind the adjacent façade whichever is furthest from the front boundary.

JORDAN SPRINGS EAST CORNER LOT FENCING

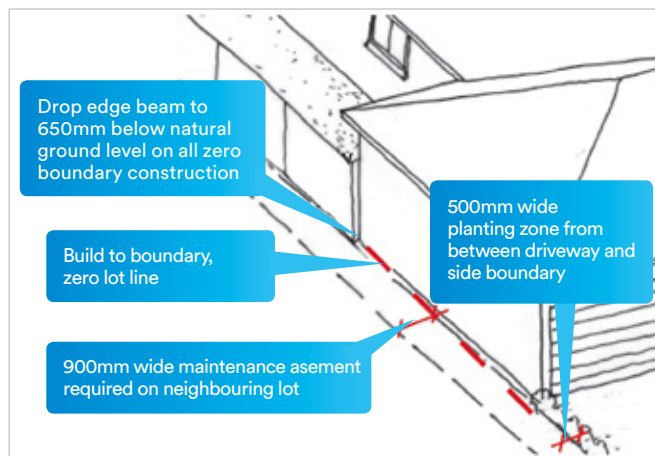
1800mm high fence with 100mm x 100mm Colorbond posts with either vertical or horizontal slats in either H4 treated, dressed and painted pine, mod wood or metal in a colour to complement the home. Slats to be spaced at 5mm to 10mm. All posts and rails to be installed internally to face the lot leaving a smooth finish to the external face of the fencing. Secondary fencing style must return to the dwelling.

LOTS ADJOINING TRANSMISSION EASEMENT

Metallic fencing will not be permitted. Fencing must be lapped and capped and constructed in either Hardwood class 1 or 2 H4 treated pine timber paling. No rough sawn timber is to be used. Fencing must be stained in a similar colour to colourbond “Greyridge” to match the remaining boundary fencing.



Example of “Smartascreen” 1.8m high fencing in “Grey Ridge” colour.



Design controls

The back of your home

INDOOR/OUTDOOR LIVING

Most new homes are designed with indoor/outdoor living in mind. This usually means there is a strong connection between indoor living areas and private open space. This can also include covered outdoor areas and barbeque entertaining areas. Be sure to get the best orientation to ensure these spaces remain comfortable spaces to improve livability.

REAR SETBACK

The minimum building setback to the rear is 3m.

SIDE/INTERNAL SOLID FENCING

All rear internal fencing is to be Lysaght “Smartscreen” in Grey Ridge or equivalent.

PRIVATE OPEN SPACE “THE BACKYARD”

All private open space must be 3m minimum width and length and can be achieved via centrally located courtyards and open space to the side of your home.

- **LOTS UNDER 500SQM (SINGLE STOREY)**
The minimum private open space required is 15%
- **LOTS UNDER 500SQM (DOUBLE STOREY)**
The minimum private open space required is 20%
- **LOTS OVER 500SQM & LOTS OVER 30M DEEP**
The minimum private open space required is 20%

RETAINING WALLS

Along any boundary and to the front or secondary frontage visible from the street, retaining walls are to be constructed of; textured or coloured masonry, bricks, blocks or concrete including render. Obtain relevant structural design approval from Council if required.

PARK FRONT

Dwellings sharing a boundary with parkland are to provide balconies and/or articulation facing parkland (including broken roof lines for single storey homes), as well as glazing and one habitable space.



Example of a parkfront home addressing open space.

SWIMMING POOLS

Swimming pools are permitted, please refer to Penrith City Council’s requirements.

OTHER STRUCTURES

Elements such as air conditioners, television/ radio antennas and satellite dishes, solar hot water heaters, solar collectors, clotheslines, hot water systems, garden sheds, lockers or storage, gas and water meters and plumbing pipes are to be concealed from public view or adjoining open space where possible. Plumbing is to be concealed within walls on all upper storeys.

PERGOLA STRUCTURES

Pergola structures without a roof are permitted to the rear of a house outside the building envelope. Garden sheds are to be a maximum of 10sqm and should not be visible from street or park frontages. All structures are to be setback a minimum of 900mm from any boundary.

ALL DWELLINGS

All dwellings must demonstrate compliance with the provisions of BASIX. All lots above 400sqm are required to have rainwater tanks.

PRIVACY

Privacy screens are required to upper storey living rooms and rumpus rooms within 6m of the rear boundary, and may be required on other windows for sloping lots.

Privacy treatment may include fixed horizontal or vertical louvre screens, pre-finished perforated metal screens, or high level windows with a minimum sill height of 1.5m. Privacy treatment is not to encroach on any easement.



Example of pergola structure within building envelope.

Application form

1. Lot number/address

2. Owner details

Name: _____

Address: _____

Phone: _____ Mobile: _____

Email: _____

3. House builder details

Builder: _____

Contact: _____

Address: _____

Phone: _____ Mobile: _____

Email: _____

4. Home designer

Name: _____

Address: _____

Phone: _____ Mobile: _____

Email: _____

Signed: _____ Date: / /

Jordan Springs - Landscape Plan Checklist

A landscape plan is to be provided at 1:100 @ A3 by a qualified landscape designer/architect/horticulturist.	<input type="checkbox"/>
The plan is to be fully documented with survey details including contours, lot dimensions, kerb, layback, vehicle crossover, retaining walls, surface materials, planting, easements, clothes line, water tank, air-conditioning units and fencing details. Clothes lines, water tanks and air-conditioning units are to be concealed from the street.	<input type="checkbox"/>
The landscape plan is to show any existing street trees and note that "All existing street trees and verge planting are to be protected during construction".	<input type="checkbox"/>
A minimum of 70% of the planting is to be Australian natives or water wise planting, and must be clearly indicated in a planting schedule with "*" or similar and the percentage of this planting is to be noted e.g. 70% Australian native, 30% exotic.	<input type="checkbox"/>
The landscape plan must have a plant schedule including botanical names, common names, pot sizes, heights and widths.	<input type="checkbox"/>
One tree of mature height between 4m - 8m must be provided in the front yard and back yard of the lot. One of the trees is to be an Australian native species.	<input type="checkbox"/>
A 300mm -500mm planting strip is required for the length of the following three locations; - between driveway and entry path, between driveway and side boundary, along the front boundary (including any part of the secondary street frontage without fencing).	<input type="checkbox"/>
A separate entry path is required to the front door. This entry path is to be independant of the driveway, and a maximum of 1.8m wide. The entry path can be curved or straight.	<input type="checkbox"/>
A minimum of 50% of the lots 'total landscaped area' is to be soft or premable surface. Artificial turf is not to be used in front gardens, on council verge or where visible from the street.	<input type="checkbox"/>
Driveways are to be 3m wide for a single garage and 3 - 5m for a double garage. Driveways within the boundary from the front of the garage to the front boundary are to be treated with either stencilled, coloured concrete or pavers. Plain concrete, driveway tracks, turfed or loose pebble/gravel driveways are not permitted. Plain concrete is to be used from the front boundary to the kerb in accordance with Penrith City Council requirements and must be perpendicular to the kerb with parallel sides. Footpaths are to remain continuous along the street and are not to be interrupted by driveways.	<input type="checkbox"/>
Garden sheds are to be maximum of 10m ² and a minimum of 900mm from any boundary and are to be concealed from public view. Service locations need to be considered.	<input type="checkbox"/>
Retaining walls visible from the street should be constructed of; textured or coloured masonry, bricks, blocks or concrete including rendering. This rule also applies to any retaining walls in excess of 900mm.	<input type="checkbox"/>
Front fencing if provided is to be a maximum of 1.2m high with permeable infill.	<input type="checkbox"/>
Letterboxes are to be of solid construction and complement the home.	<input type="checkbox"/>
Internal fencing along rear and side boundaries is to be 1.8m high Lysaght 'Smartascreen' in Grey Ridge or equivalent unless otherwise specified in your building and siting guidelines for your lot. All internal fencing, return fencing to the dwelling and side gates are to be set back a minimum of 7.5m or 2m behind the adjacent façade whichever is further back from the street.	<input type="checkbox"/>
Any return fencing to the dwelling or side gates over 2.8m long must be either screened by dense height planting or fencing upgraded to slat style fencing or equivalent.	<input type="checkbox"/>
Secondary corner fencing is permitted for a maximum of 50% of the lot length (measured from the longest side). Minimal additional fencing lengths may be considered if justified.	<input type="checkbox"/>
Corner Lot Frontage Homes on corner lots shall provide a secondary building frontage of 10m minimum. This is to include a broken roof line and building line and suitable glazing. The secondary frontage should be setback 1.5m from the secondary side boundary facing the street, unless otherwise stated on the Building Envelope Plan.	<input type="checkbox"/>
In addition to the checklist, the landscape plan is to comply wholly with the Jordan Springs Building and Siting Guidelines included in your contract.	<input type="checkbox"/>

Owner: _____ Contact phone: _____

Street Address: _____

Qualified Landscape Designer: _____ Contact phone: _____

Attachment A

Approval process

Information Required for Approval

All submissions must be submitted via the “Lendlease Builder Agent Hub” at www.lendleasebuilderagenthub.com.au or at www.portal.beveridgewilliams.com.au

The approval package consists of PDF copies of:

- The site plan; a survey is required to be completed and details included in the site plan
- House plans, elevations and sections;
- Schedule of external materials and colours (original samples may be requested);
- Landscape plan completed by a qualified landscape designer, architect or horticulturist; and
- Basix Certificate.

Timing

- Construction of your house, driveway and fencing is to be completed within 24 months of settlement.
- In order to achieve this timing it is recommended that an application for design approval be submitted to the Design Co-ordinator no later than 6 months after settlement to ensure that construction is complete within the 24 month time frame.
- Landscaping of your front and secondary frontage garden is to be completed within 3 months of the occupation of your home.

Lendlease Home Design Developer for all Approvals

Lendlease NSW projects are now managed by Beveridge Williams Consultants. All new applications should be submitted through the Lendlease Builder Hub at www.lendleasebuilderagenthub.com.au or at www.portal.beveridgewilliams.com.au

General customer queries relating to Covenants should be re-directed to Beveridge Williams planlodgement@bevwill.com.au

Attachment B

Construction information

Site Management

Please refer to Penrith City Council's Site Waste and Minimisation Development Control Plan for regulations related to site management. Also refer to Penrith City Council's Soil Erosion and Sediment Control Plan.

Lot Maintenance

Before, during and after construction of your home, your lot is required to be kept clear of excessive weeds, rubbish and maintained to an acceptable standard. Excavation material, rubbish or builder's waste is to be stored in a covered bin, and may not be deposited on adjoining properties, nature strips or in public areas during construction.

You are responsible for rubbish removal and for keeping the site and adjoining street clean at all times during the construction period of your home and landscaping. A covered rubbish collection bin is to be provided during the construction period and kept within the property boundary.

Deliveries and Storage

All building materials, temporary toilets and building equipment must be stored within the property boundaries of your lot at all times. The nature strip, footpaths, roadways, neighbouring properties and public areas must be kept clear - at all times.

You will be responsible to rectify any damage caused by deliveries or by construction vehicles associated with the construction of your home to areas outside your lot.

Your builder and their subcontractors are not to park on the adjoining lots, surrounding public areas or nature strips.

Site Security

During periods in which your home site is unoccupied or building works are not in progress, it is advisable to ensure adequate fencing (acceptable to Penrith City Council) is erected to restrict public access. In this regard the minimum acceptable standard of fencing to the site is 1.8m high temporary construction fencing properly constructed, erected and clad internally with hessian or geotextile fabric. All openings are to be provided with gates, which are not at any time to swing out from the site or obstruct the footpath or roadway.

Street Tree Protection

Any damage to street trees or tree guards during construction is the responsibility of the property owner to repair. Any damage to the surrounding public areas including streets, street trees, footpaths, nature strips, services and adjoining land caused by the construction of your home is your responsibility.

Attachment C

Other relevant planning considerations

The development control strategy for Jordan Springs (otherwise known as the Western Precinct Development Control Strategy) contains a number of guidelines that may influence how you design your new home at Jordan Springs. A summary of these controls are listed below.

Noise Attenuation

- The design of attached dwellings must minimise the opportunity for sound transmission through the building structure, with particular attention given to protecting bedrooms and living areas.
- Living areas and service equipment must be located away from bedrooms of neighbouring dwellings.
- Noise sensitive areas are to be located away from noise emitting sources.

Safety

- Dwellings should be designed to overlook streets and other public or communal areas to provide casual surveillance.
- For residential dwellings, roller shutters are not to be used on doors and windows facing the street. Security railings must be designed to complement the architecture of the building.
- Pedestrian and communal areas are to have sufficient lighting to ensure a high level of safety. These areas must be designed to minimise opportunities for concealment.
- All developments are to incorporate the principles of Crime Prevention Through Environmental Design, in accordance with Penrith City DCP 2006. When assessing applications, Council must give consideration to Planning NSW guidelines for Crime Prevention and the Assessment of Development Applications.
- Avoid the creation of areas for concealment and blank walls facing the street.

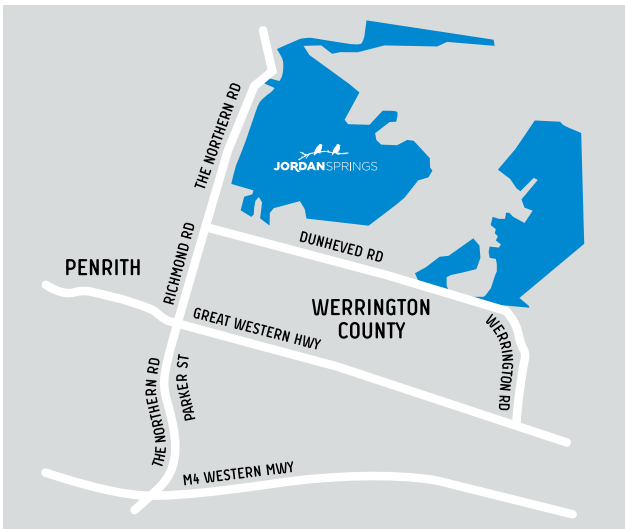
Solar Access

- Areas of private outdoor space should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice.

- Dwellings should also be designed to avoid overshadowing of adjacent properties and to protect sunlight access to any habitable room or private outdoor living space of adjacent buildings to less than 4 hours between 9am and 3pm at the winter solstice (21 June).

Energy and Water Efficiency

- BASIX Certificate is to accompany DAs for new dwellings.
- The design of dwellings should minimise heat loss and the absorption of heat through measures such as the use of insulation in walls and roofs.
- Other considerations include limiting the size of windows on the western façades of buildings.
- Dwellings should be designed to allow cross ventilation, where appropriate, by positioning windows and doors opposite each other within rooms and providing fans and alternative forms of mechanical ventilation (other than air conditioners).
- Dwellings should be designed to face living spaces to the north, sleeping areas to the east or south, and utility areas to the west or south.
- Dwellings should be designed with north facing windows.
- Dwelling design should consider shading of north, east and west facing windows through use of elements such as shading devices, including eaves, verandas, pergolas and awnings.
- Dwellings should utilise energy efficient fixtures such as solar hot water systems or star rated appliances.
- Dwellings should be designed so that: hot water systems are located as close as possible to wet areas;
 - wet areas are clustered to minimise pipe runs;
 - external clothes drying areas are provided, with access to sunlight and breezes; and
 - reflective or light coloured materials are used and/or dwellings are painted in light colours.



Creating the best places

For over 50 years, Lendlease has been dedicated to creating the best communities in Australia. Aspirational addresses that foster a true sense of belonging, where people feel connected and genuinely welcomed.

Places that are truly beautiful and set about to enrich the lives of our residents, as well as those for generations to come.

Our holistic urban design approach is to encourage environments that foster opportunities. Where you can choose the way you live, the way you work, the way you learn. No matter where they are situated, every Lendlease community encourages a healthy and sustainable lifestyle where people are proud to call home.


Jordan Springs

Sales & Information Centre

Jordan Springs Boulevard & Lakeside Parade,
Jordan Springs NSW 2747

Opening Hours

Mon, 1pm – 5:00pm
Tue – Fri, 9:00am – 5:00pm
Sat & Sun, 10:00am – 5:00pm

Find us on 

belong at Jordan Springs

jordansprings.com.au 1800 086 656

