

Calderwood Valley Home Design Guidelines

belong at Calderwood Valley



Community Vision

The Calderwood Valley Community by Lendlease will deliver a place of natural beauty, a community of villages that reflects the local heritage and character of the region. Each neighbourhood will offer a wide choice of affordable living options with safe, inviting streetscapes and individual home designs that promote a sense of belonging.

Connecting the escarpment with the coast, it will take advantage of the natural hills, creeks and bushlands, allowing the community to connect via walkways and open space. Calderwood Valley will become a truly inspirational, connected community that delivers essential facilities to support local social connection, sport and recreation, retail, education and business.

Calderwood Valley will be a quality destination that people will be proud to call home.





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The preparation of this Prospectus is based on current information, however items could change pending final authority approvals and construction restrictions. This information has been prepared to indicate, at the date of preparation, the Developer's intended development of the project. No warranty is given that the completed development will reflect this information. Prospective parties are advised to carry out their own investigations as to all aspects which are important to them and should read the Developer's contractual rights to vary the development before they sign any contract. The vendor reserves the right to alter selling terms and lot prices at any time. Images and renders are indicative only. Printed October 2018.

1 introduction

Calderwood Valley Home Design Guidelines

The Home Design Guidelines set out the minimum requirements for new homes and front gardens at Calderwood Valley. They are a condition of your Contract of Sale and apply in addition to any other statutory requirements. All building designs must be approved by Lendlease prior to obtaining your Building Permit.

Some lots at Calderwood Valley have special requirements for the home and landscape; these requirements seek specific outcomes for homes in key locations throughout the community. Lots with special requirements are defined on sales plans and Building Envelope Plans. These lots require both the Calderwood Valley Home Design Guidelines and the special requirements to be met.

Additional information is included in your contract of sale covering: number of dwellings permitted on your allotment; plan approval and building times; site maintenance requirements prior to building, and Lendlease supplied fencing where applicable.

If you have any questions regarding the requirements in these guidelines contact Lendlease on 1300 733 245 or via email at planlodgement@bevwill.com.au to see how we can help.

Lendlease encourages diverse and innovative design at Calderwood Valley. Any application that is not in accordance with the Home Design Guidelines but exhibits positive community and design outcomes may be granted approval.

Statutory Requirements

PLEASE NOTE THAT YOU NEED A DEVELOPMENT APPROVAL OR COMPLYING DEVELOPMENT CERTIFICATE AS WELL AS LENDLEASE APPROVAL.

Whilst Calderwood Valley are reviewing your home design, it is ultimately up to the Architect/Designer/Engineer and the Registered Building Surveyor/Energy Consultant to ensure that the home design complies with all of the statutory requirements related to the construction of the home.

These guidelines apply to Calderwood Valley. Future land releases may have different Calderwood Valley Home Design Guidelines.





2 design approval process

Assistance is available to help you through each step of your new home approval process.

Call Lendlease on 1300 733 245

or via email at

planlodgement
@bevwill.com.au



1 Design your home

While designing or selecting your home, work through the Calderwood Valley Home Design Guidelines with your selected builder or architect.

2 Submit plans for Design Approval

Complete the Design Approval Form and checklist included on pages 19 and 20 of this document and submit it with your plans through the Lendlease Builder Hub at lendleasebuilderagenthub.com.au or www.portal.beveridgewilliams.com.au



You must obtain your Design Approval no later than 12 months after the settlement of your land.

3 Receive Design Approval

Lendlease will assess and approve your plans, once they meet the standards set out in this document. Assuming all required information is supplied, the design complies with these guidelines and any applicable special requirement, approval should take no more than 2 weeks.

4 Building Application

Provide a stamped copy of your Lendlease Design Approval as part of your Development Application or Complying Development to either Council or an Accredited Private Certifier. You will then receive a Development Consent or Complying Development Certificate.

5 Construction

Prior to commencing construction, you will then need to obtain a Construction Certificate from either Council or an Accredited Private Certifier. Prior to and during construction, your block should be well maintained and free of rubbish.

6 Moving in:



Construction of your new home and driveway must commence within 12 months and be completed within 24 months of the settlement date of your land.

Once you have completed your home, driveway and have obtained a Certificate of Occupancy, you can move in.

3 design requirements

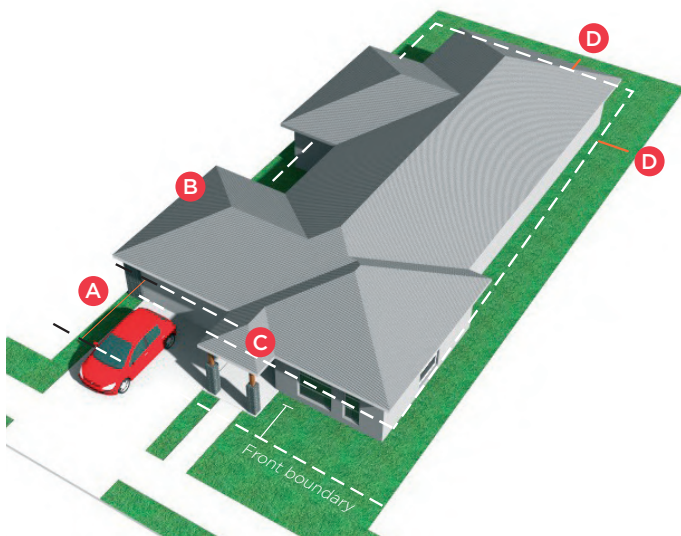
This section outlines the minimum requirements for your home and front garden.

Building Envelope Plan

Building Envelope Plans are created for each lot in Calderwood Valley. Your Building Envelope Plan shows:

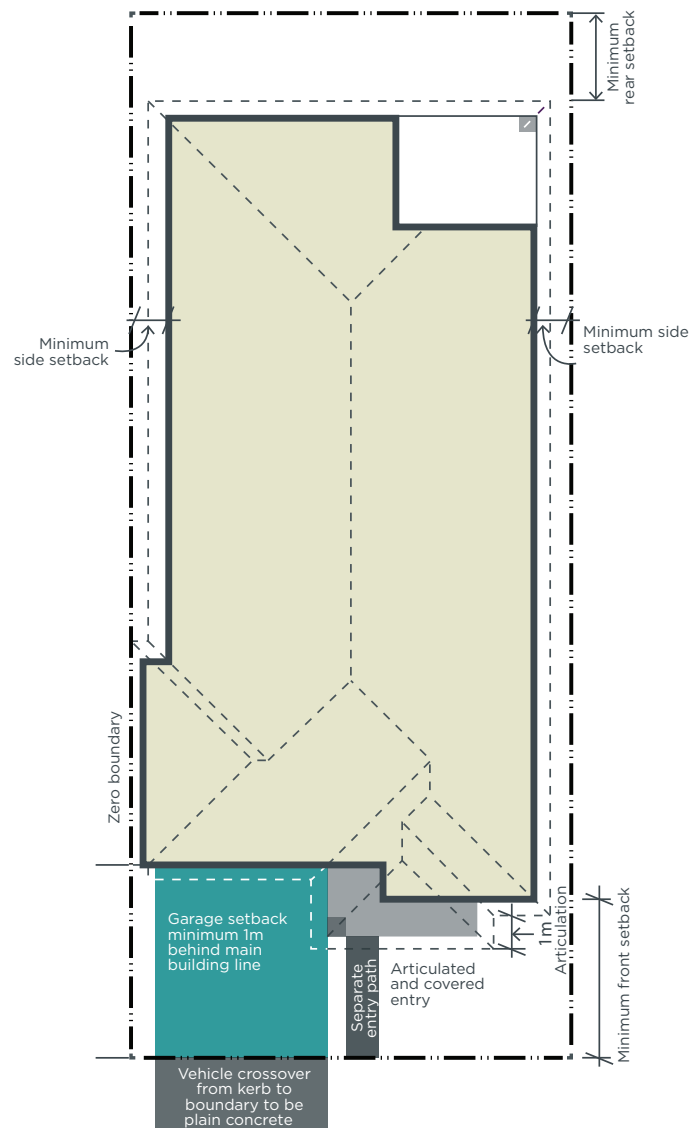
- 1 The minimum setbacks required from each boundary of your block.
- 2 Garage location and number of car spaces.
- 3 The location of your driveway.
- 4 Any applicable zero boundaries.

When you lodge your plans for Design Approval, Lendlease and the approving authority will check your home complies with the setback requirements of the Calderwood Valley Development Control Strategy and your Building Envelope Plan, so be aware of them as you design or select the home for your block.

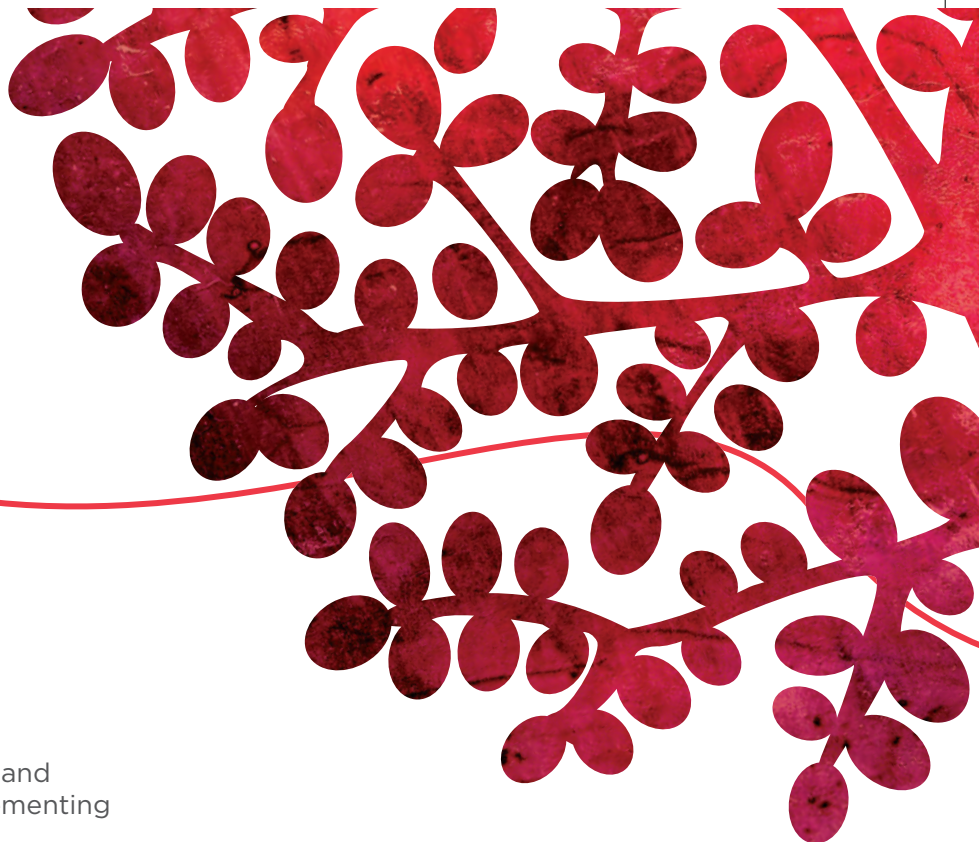


Example home built to code showing:

- A** Setback to garage
- B** Garage built to boundary
- C** Portico projected forward of front wall
- D** Side and rear boundary setback



Example Building Envelope Plan



Facade Design

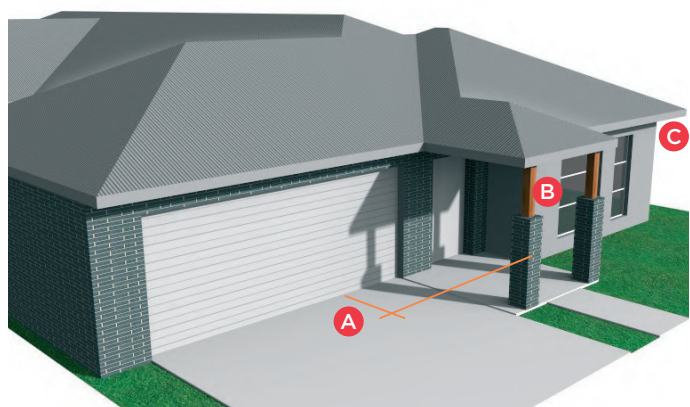
Great streets include well designed homes and high quality front yard landscaping complementing each other.

Garage Setbacks

- ✓ Homes must include articulation between the alignment of the front wall and the garage on the primary frontage.
- ✓ The minimum acceptable alignment variation is 1 metre. The roof above your entry must protrude forward of the garage door.
- ✓ All garages must be setback 1m behind the front building line unless otherwise specified in DCP.

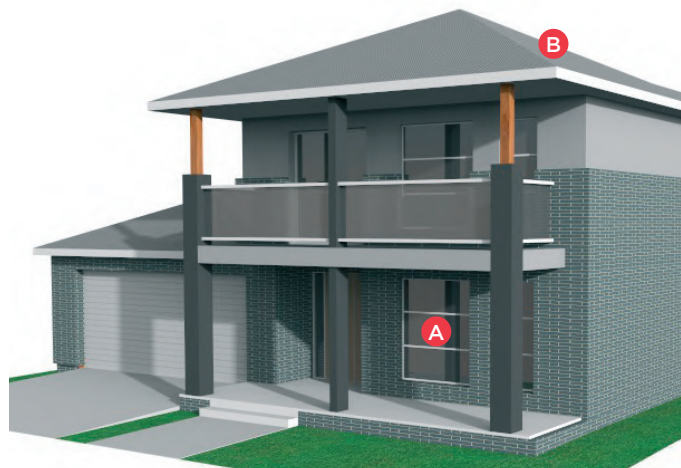
Building Materials

- ✓ Windows facing the street work best when they complement the house style and make up at least 20% of the front façade.
- ✓ Roofed elements such as extended eaves, entries and verandahs forward of the front wall as well as recessed windows and doors, give your home a sense of depth.



Example single storey home facade showing:

- A** Step between front wall and garage 1 metre
- B** Covered entry area with roof projecting forward of main building facade
- C** Eaves to primary street frontage facade, including garage



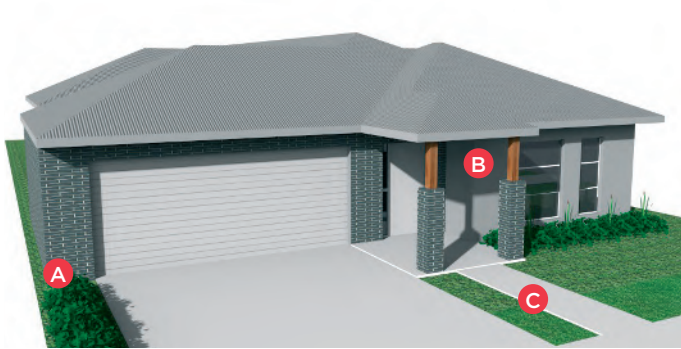
Example double storey home showing:

- A** Windows covering minimum 20% of frontage
- B** Example covered verandah

Entry

Good home design is welcoming to residents and visitors. Some key elements include:

- ✓ Ensure your entry is visible to the street and includes a roofed area such as a porch, verandah, portico or pergola.
- ✓ Highlight the entry by ensuring that the roof over the entry extends forward of the roof of the home.



Typical approach to entry with:

- A** Planting beside driveway
- B** Covered entry pushed forward or roof extended out from the front building creating a larger front porch area
- C** Pedestrian path separate from driveway for safety



Typical side entry:

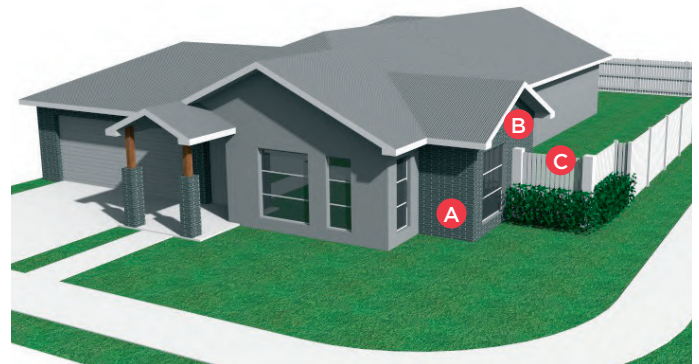
- A** Path to highlight front door
- B** Covered entry area

Secondary Frontages

Homes on street corners or adjacent to public open space must address both the front and side streets and any frontage visible from public open space.

- ✓ Homes on corners must provide articulation to the roof and walls along the secondary frontage and extend the detailing of the primary street façade to the secondary frontage.
- ✓ Primary entry can be from either primary or secondary frontage.

Elements to address the detailing requirements shall include the continuation of the front façade's materials and finishes, the inclusion of windows, and enhanced planting and fencing.



Home on corner lot showing:

- A** Primary frontage treatments continued around corner
- B** Articulation of roof and walls to secondary frontage
- C** Side fencing setback 4 metres behind front wall

Subdivision of Lots

No lots are to be subdivided except where Gallery housing is permitted on allotments as indicated on the Building Envelope Plan.

Eaves

Eaves enhance the look of your home, control solar penetration and have a positive impact on the quality of the streetscape.

- ✓ Your roof must incorporate 450mm minimum width eaves excluding fascia and gutter. 300mm eaves excluding fascia and gutter are permitted only where single storey house is proposed on a Villa or Premium Villa lot.
- ✓ Eaves are required to extend over garage doors. Eaves are not required to the portion of the home that incorporates verandahs, pergolas or porticos or to sections of façade finished to a boundary or behind a parapet wall.



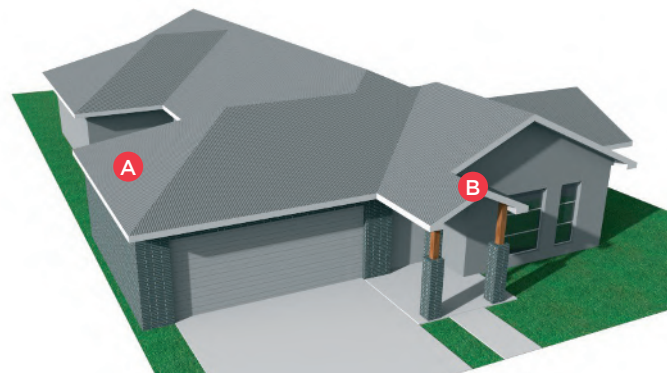
Eaves on the primary frontage of a home over:

- A** Eaves above the garage and front wall
- B** Entry area roof extended beyond the eave

Roof Pitch & Form

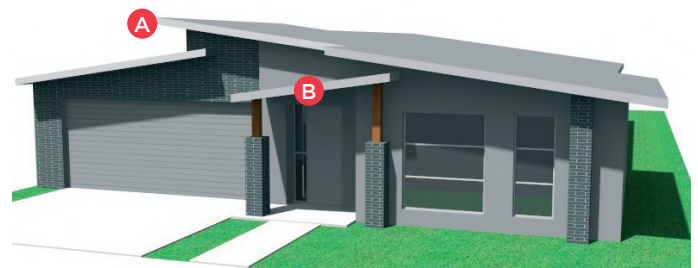
The roof on your home is a significant part of the visual presence that your home contributes to an attractive streetscape.

For your roof to be in balance with your home and others in the street, minimum pitch of 22° for a hip or a gable must be achieved. The pitch of a skillion roof is recommended to be 5 - 10°. Other roof forms and pitches can also be considered where they complement the architectural intent of the home and contribute positively to the streetscape.



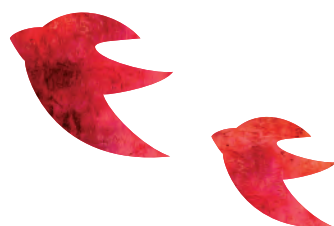
Hip and gable approach to a roof showing:

- A** A hip end to the pitched roof form
- B** A gable end and entry portico with gable



Skillion roof form showing:

- A** Counterpointed skillions to give the home a sense of balance
- B** Skillion over the entry area



Building Materials

Building materials that complement the architectural style of your home add greatly to its streetscape appeal.

- ✓ Your front façade must include either a combination of at least two different building materials or finishes. Alternatively, if only one material or finish is preferred, your front facade must also include a substantial covered verandah that draws attention to your home's entry and reduces the visual impact of the garage door.
- ✓ Roofing materials are to be either concrete or terracotta tiles or prefinished and precoloured metal roofing. Tiles are to be low profile of a single colour.
- ✓ Unfinished materials including block work, highly reflective or unpainted materials are not permitted. All external surfaces are to be in a finished state (painted or coated) prior to the occupation of your home.

Other elements to consider include:

- ✓ Built elements in the landscape such as fences, retaining walls and letter boxes should use materials that complement those on your home.



Two approach to materials on a home showing:

- A** Two materials to the front of the home
- B** A covered verandah in a façade with only one material.

Garages & Driveways

Garages and driveways can have a negative impact on the street when they dominate the home and landscape. Garages must not dominate the frontage of the house.

- ✓ Driveways and garage must be installed where nominated on your Building Envelope Plan.
- ✓ Driveways and paved areas within your property cannot exceed 300mm wider than your garage door.
- ✓ Driveway widths cannot exceed 3 metres for a single garage or 5 metres for a double garage. Driveways must be offset at least 300mm from your side boundary.
- ✓ Your driveway must be complete before you occupy your home.
- ✓ Acceptable driveway materials include stone cobbles, pavers, stamped or stencilled concrete, exposed or coloured finished concrete or a combination of these elements.
- ✓ The driveway located between the property boundary and the street kerb (verge) must be constructed from plain concrete only.
- ✓ Lendlease installed footpaths (if applicable) must remain in place and left in plain concrete.
- ✓ Panel lift or panel glide garage doors required to main frontage. Roller doors are not permitted.
- ✓ Garage doors on the primary frontage should be no wider than 50% of the width of the building frontage.



Typical driveway showing:

- A** The pedestrian and vehicular cross-overs from boundary to street must be constructed from plain concrete.

Front Landscape

Quality front landscaping enhances the positive impact your home will have on the streetscape.

- ✓ Your front yard including the council owned verge must be landscaped within 6 months of moving into your home.
- ✓ At least 50% of your front yard must be landscaped with grass and garden beds (and cannot be paved, concrete or hardstand). A significant portion of this area must include gardens with trees or shrubs capable of growing to 3 metres tall and at least 600mm high when planted.
- ✓ Trees that have been retained within your property and on street verge cannot be removed unless approved by Lendlease and Council.
- ✓ On corner lots, planting including trees and shrubs must be provided to both street frontages.
- ✓ A minimum of one tree is to be provided to the front garden. Trees are to be minimum 1.5m high when planted. This requirement is in addition to any street trees planted by Lendlease.
- ✓ To provide screening to the driveway, 300mm planting is to be provided between the side boundary and your driveway.



Typical front yard showing 50% softscape with:

- A** Trees and shrubs capable of growing to 3 metres
- B** At least with 50% grass and gardens with significant plantings
- C** Landscaping with plants to the strip between the driveway and side boundary



Typical landscape to secondary frontage:

- A** Additional trees and shrubs to secondary frontage
- B** Front yard landscape returns around corner



Fencing

Well-designed fencing has a positive impact on your house and the street. Generally it is preferred that your landscape flows from the street to the front of your home; however, if fencing forward of your home creates usable outdoor space, you may choose to fence the space in a way that adds quality and activation to the street.

All fencing is subject to Calderwood Valley Home Design Guidelines and local authority requirements.

Front fencing is only mandatory if indicated on your Building Envelope Plan. Front fencing is any fence which fronts any street or open space. If you choose to have front fencing it must meet the following requirements:



Typical front fencing showing:

- A** Detailed front fence with screen planting
- B** A mid block front fence returning to side fence which stops 1 metre behind the front wall
- C** A corner block front fence returning to side fence which stops 4 metres behind the front wall

Fencing Standard

1 Feature Decorative Fencing:

If indicated on Building Envelope Plans, Lendlease will build fencing along open space boundaries, project boundaries and high profile lot boundaries. This fencing cannot be altered, removed, damaged or modified in any way without prior written approval by Lendlease.

2 Front Fencing:

350x350mm brick piers to 1.2m high and spaced approximately 2.5m apart. These are to be constructed of brickwork and finished to match the style of your home.

The letterbox can be integrated into the front fence.

The infill between the piers is to match the style of your home. It is to be lightweight (minimum 20% transparency) and open in style such as metal, timber battens, hedging or open style metal panelling.

Hedging and thick planting can be used to create further privacy.

3 Corner Boundary Fencing:

350x350mm brick piers to 1.5m minimum (1.8m maximum) high, measured from foot path level, and spaced approximately 2.5m-3m apart. These are to be constructed of brickwork and finished to match the style of your home.

The infill between the piers is to match the style of your home. It is to be lightweight and open (minimum 20% transparent) in style such as metal, timber battens, hedging or open style metal panelling.

Alternatively Feature boulevard walls consisting of a series of 1.8m High (1.5m Solid & 0.3m Slat Infill) rendered brick or modular block walls or approved equivalent are permitted. 350mm x 350mm Piers are to be provided at a maximum of 2.7m centres and 1.5m rendered solid wall with 300mm slat infill on top.

Hedging and thick planting can be used to create further privacy.

4 Internal Boundary Fencing:

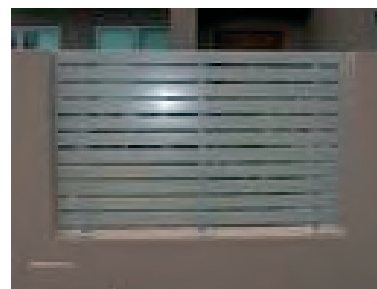
Side and rear fencing between residential lots is to be 1.8m high colorbond fencing 'Smartascreen' in 'Grey Ridge' (or equivalent). Side fencing is to finish on the wall built on the boundary or a minimum of 1m behind the front building line.

Side fencing is to finish on the wall built on the boundary or a minimum of 4m behind the front building line.

Fencing Standard detail:



A Example of Lysaght 'Smartascreen' 1.8m high fencing in 'Grey Ridge' colour



B Example Secondary Facade Fencing detail

Retaining Walls

Retaining walls that face the street need to have a positive impact on the quality of the streetscape and ensure car and pedestrian access to and from the block and along the street is safe. Acceptable retaining wall materials are boulders, concrete sleepers and rendered or faced block walls.

- 1 Retaining walls visible along street or public open space frontages cannot exceed 600mm high in any single step and 1.2m in total height. A planted strip of minimum width 500mm must exist between any terraced retaining walls.
- 2 Retaining walls to side boundaries between lots cannot exceed 750mm high at the front wall of the home and must taper down forward of the home.
- 3 Retaining walls over 900mm high require a 1 metre high fence above the wall and adequate landscape screening.

Building on a sloping lot

Where the slope of a lot exceeds 1m, split level designs are to be used to address the site slope.

- ✓ Lots less than or equal to 450sqm - maximum 500mm cut and fill.
- ✓ Lots greater than 450sqm - maximum 900mm cut and fill.



Retaining walls forward of the home must taper on side boundaries:

- A** Retaining walls must be stepped where they exceed 600mm high on front boundaries. Face of retaining wall must line up with property boundary.
- B** Side retaining walls above 900mm should be fenced for safety.

Ancillary Elements & Structures

- 1 Ancillary elements and structures such as air conditioning condensers, wall mounted air conditioning units, satellite dishes, rainwater tanks, sheds and frame mounts for solar panels must be located so they are not visible from a street or public open space frontage.
- 2 No temporary or relocatable buildings or structures may be erected or located on a block.

Bushfire

All development must comply with the NSW Rural Fire Services Planning for Bush Fire Protection Guidelines, Regulation 2008, and 'Planning for Bush Fire Protection 2006' (RFS 2006) herein referred to as PBP. Refer to www.rfs.nsw.gov.au

Calderwood Valley is committed to providing a quality and safe community. A significant element is to ensure that all residential homes are designed and built to minimum bushfire prone standards for safety and durability.

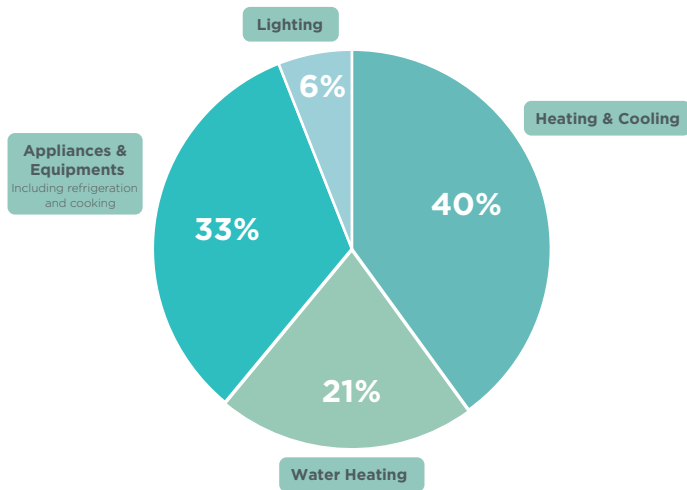
Check your Building Envelope Plan and Authority requirements for land identified as bushfire prone land. The BEP will nominate the extent of the Asset Protection Zone (APZ) and Bushfire Attack Levels (BALs) required to be met for any new home in these locations. You must consider these construction standards when designing your home.

Safety

- 1 Dwellings must be designed to overlook streets and other public or communal areas to provide casual surveillance.
- 2 For residential dwellings, roller shutters are not to be used on doors and windows facing the street. Security railings must be designed to complement the architecture of the building.
- 3 Pedestrian and communal areas are to have sufficient lighting to ensure a high level of safety. These areas must be designed to minimise opportunities for concealment.
- 4 Avoid the creation of areas for concealment and blank walls facing the street. noise emitting sources.

4 smart ideas for your home

This section outlines the optional elements for your home that will assist in reducing your energy bills. Including these features during initial design is more cost effective than retrofitting later. You may wish to talk to your builder about including these money saving ideas in your home.



Graphic showing the projected energy use in the residential sector:

Source: DEWHA, 2008 Energy use in the Australian residential sector 1996-2020, data projected energy use for 2012

Solar Access

Dwellings should be designed to consider overshadowing of adjacent properties and to protect sunlight access to any habitable room or private outdoor living space of adjacent buildings.

Noise Attenuation

- 1 The design of attached dwellings must minimise the opportunity for sound transmission through the building structure, with particular attention given to protecting bedrooms and living areas.
- 2 Living areas and service equipment must be located away from bedrooms of neighbouring dwellings.
- 3 Noise sensitive areas to be located away from noise emitting sources.

Solar Panels (optional)

- 1 Solar panels generate electricity from the sun and reduce the need to buy electricity during sunlight hours.
- 2 Solar photovoltaic panels will need to be on the northern most facing side of your roof, as directed by the installer.
- 3 The size of the system should match your day time electricity consumption, 1 - 1.5kW would be sufficient for most homes.

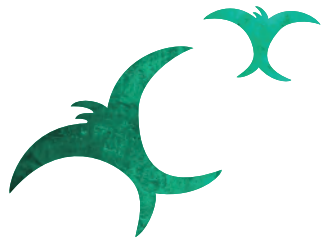
Solar Hot Water (optional)

- 1 Solar hot water uses the heat from the sun to provide hot water for your home which reduces your energy consumption.
- 2 Solar hot water roof collectors will need to be fixed in accordance with the product specifications.
- 3 The size of the system should be based on the size of your household and hot water needs. Split solar hot water system is encouraged.

Efficient Appliances (optional)

Energy star ratings assist in comparing the energy efficiency and expected running costs of appliances. Being aware of the energy rating, particularly for the following appliances can help you save later.

- 1 Electric air conditioners with ratings of 2.5 stars or greater.
- 2 Refrigerators with ratings of 3.5 stars or greater.
- 3 Clothes washers with ratings (energy and water efficiency) of 4.5 stars or greater.
- 4 TVs with ratings of 7 stars or greater.



LED lights (optional)

LED lights can do the same job as a compact fluorescent globe or halogen globe. LED lights use less energy and typically have a much longer life expectancy than other globes.

Energy and Water Efficiency

- 1 BASIX Certificate is to accompany DAs for new dwellings.
- 2 Dwellings should be designed to face living spaces to the north, sleeping areas to the east or south.
- 3 Consider shading north, east and west facing windows through use of elements such as shading devices including eaves, verandahs, pergolas and awnings.
- 4 Utilise energy efficient fixtures such as solar hot water systems or star rated appliances.
- 5 To improve energy and water efficiency, also consider following design ideas:
 - ✓ hot water systems located as close as possible to wet areas;
 - ✓ wet areas clustered to minimise pipe runs;
 - ✓ external clothes drying areas provided, with access to sunlight and breezes;
 - ✓ reflective or light coloured materials used and/or dwellings are painted in light colours; and
 - ✓ solar panels.

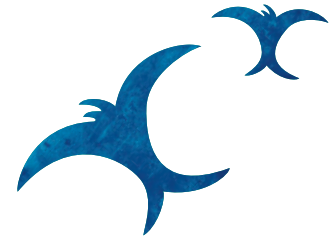


Opportunities for reducing energy bills include:

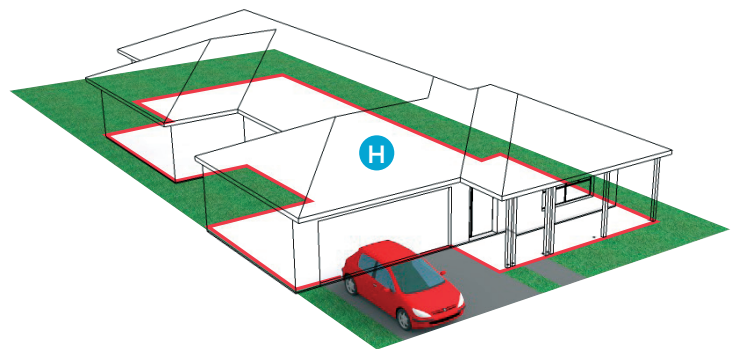
-  Heating & Cooling
-  Solar Panels
-  Solar Hot Water
-  Efficient Appliances
-  LED Lights



5 glossary



- A** Front Wall
the wall of the house closest to the front boundary
- B** Verandah / Balcony / Alfresco
A covered outdoor area
- C** Garage Setback
The distance between your property boundary and the garage door
- D** Portico / Porch
Clearly defined roofed entry feature
- E** Articulation
Walls on different setbacks from the property boundary
- F** Build to Boundary Line (Zero Boundary)
A portion of the house or garage that is built to the side boundary or within 200mm of it
- G** Pedestrian Path
A path adjacent the driveway specifically for pedestrians
- H** Site Cover
The area of the footprint of your house expressed as a percentage of your lot area. The footprint of your house includes all ground floor areas measured to the outside walls and also covered verandahs or porches.
- I** Gable Roof
- J** Hip Roof
- K** Skillion Roof



I



J



K

6 design approval

Checklist

The following information and plans need to be submitted with the Design Approval Form. All plans need to be in A3 format. These would normally be prepared for you by your builder, architect or building designer.

Site plans at 1:200 scale

These plans must show the home you are seeking approval for including:

- Street address and lot details
- Site details, including boundary dimensions, existing contours, easements, setbacks requirements to all boundaries
- Proposed contours and proposed finished floor levels
- Proposed cut and fill and retaining walls including materials to be used
- North point and scale
- House footprint area
- Building outline and extent of overhangs
- Private open space and materials
- Driveway width, materials and location from existing crossover
- Height and details of all fences
- Location of solar panels and solar hot water system
- Location of any rain water tanks and ancillary structures such as sheds, outbuildings, pergolas, gazebos and pools

House Plans (floor plans, elevations and sections on all sides) at 1:100 scale

These plans must include:

- Room names
- Internal and external dimensions
- Location of meter boxes
- Width and type of garage door
- Elevations of all sides of the home
- Existing and proposed levels
- Location and extent of proposed materials and colours
- Location of any elements placed outside the walls or above the roof such as AC condensers, solar panels, aerials and satellite dishes
- Roof pitch, eave widths, materials and heights

Material and colour schedule

All External Materials and Colours including:

- Walls (external)
- Roof
- Windows
- Fencing
- Driveway
- Gutters and fascia
- Feature elements



Design Approval Form

Lot Details

Lot Number: _____
Street Address: _____

Owner Details

Name: _____
Mailing Address: _____

Business Hours Phone: _____
After Hours Phone: _____
Email: _____

Builder Details (if known)

Builder Company: _____
Builder Name: _____
Builder Contact: _____
Builder Address: _____

Postcode: _____
Business Hours phone: _____
After Hours Phone: _____
Builder Contact Mobile: _____
Builder Contact Email: _____

Building Structure Details

Home Area (m²): _____
Number of Bedrooms: _____
Levels / Floors: _____
Wall Material: _____
Roof Material: _____
Roof Type: _____
Number of Car Spaces: _____
Rainwater Tank (Yes or No): _____
Number of Bathrooms: _____
Number of Living Spaces: _____

Star Rating: _____
Gas Appliances: _____
Solar Panel System Size: _____
Hot Water System Type: _____
Air Conditioning percent of Home: _____
Air Conditioning Energy Rating: _____
Ducted Heating: _____
LED Lighting Installed (Yes or No): _____
Preferred contact, Builder or Owner: _____

Submissions

You can submit your application through the Lendlease builder Hub at www.lendleasebuilderagenthub.com.au or at www.portal.beveridgewilliams.com.au

General enquiries via email at planlodgement@bevwill.com.au

Please ensure the application form includes:

- 1 Design Approval Form
- 2 A3 copy of site plan as per Checklist
- 3 A3 copy of full set of house plans as per Checklist
- 4 Materials and colour schedule as per Checklist

I/we certify that the information in the attached application is a true and accurate representation of the home I/we intend to construct. In the event that changes are made to the proposed plans, I/we will re-submit this application for approval.

Signed: _____

Date: _____



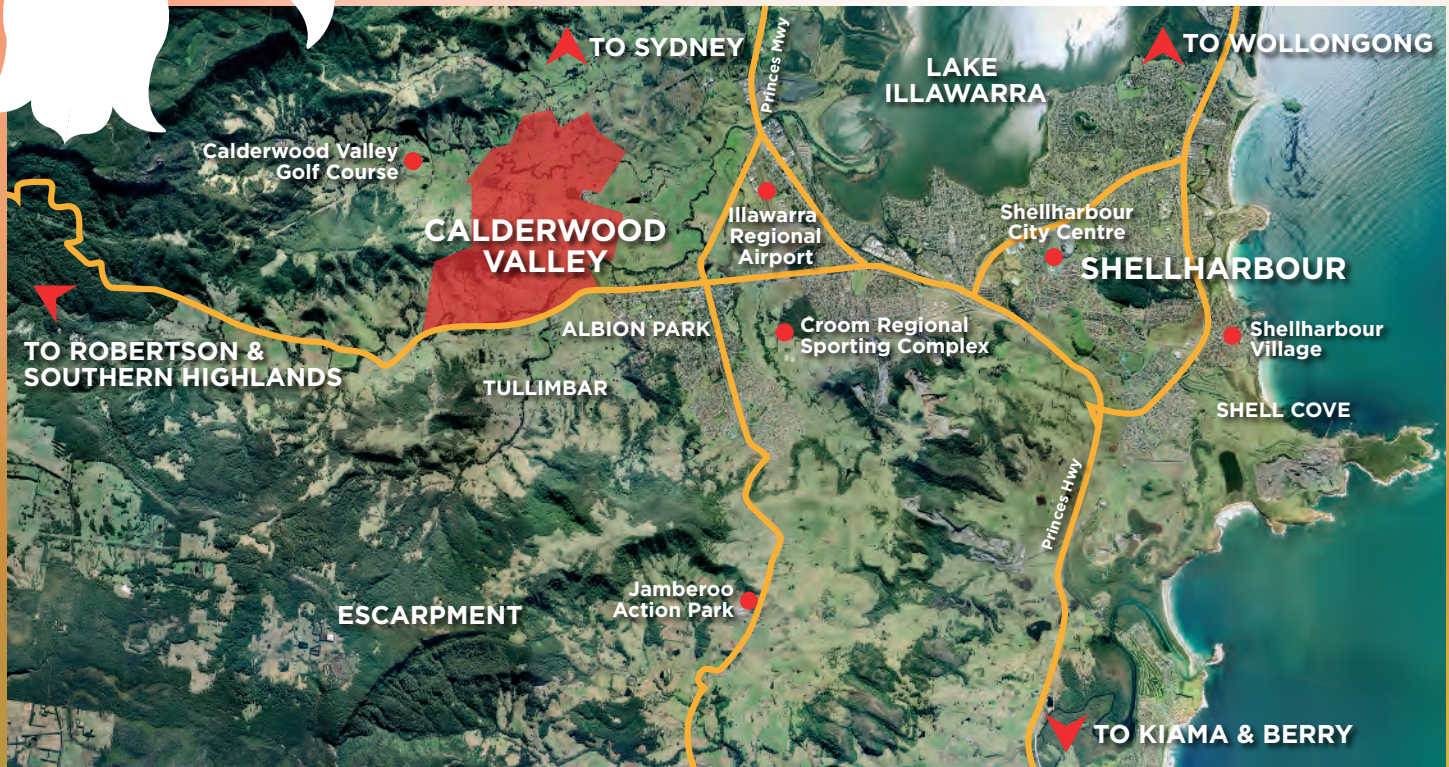


creating special places

For over 50 years, Lendlease has been dedicated to creating the best communities in Australia.

Aspirational addresses that foster a true sense of belonging. Where people can enjoy the most out of life. Places that are truly beautiful from their inception and enrich the lives of today's residents, as well as those for generations to come. Our master planning approach is to encourage environments that foster opportunities. Where you can choose the way you live, the way you work, the way you learn. No matter where they are situated, every Lendlease community displays a genuine welcome and a healthy community spirit.

Places that bring out the best in people.



creating special places

Calderwood Valley

Sales & Information Centre

Corner of Escarpment Drive
& Brushgrove Circuit,
Calderwood NSW 2527

Opening Hours

Monday: 1.00pm - 5.00pm
Tuesday to Friday: 9.00am - 5.00pm
Saturday & Sunday: 10.00am - 5.00pm

Phone: 1300 733 245

www.calderwoodvalley.com.au

