
Subject: FW: WYP11430/19.04 (Amended) - Plans for endorsement - Design Guidelines

From: Ray Lin <Ray.Lin@wyndham.vic.gov.au>
Sent: Wednesday, 29 September 2021 10:27 AM
To: Beveridge Williams
Subject: RE: WYP11430/19.04 (Amended) - Plans for endorsement - Design Guidelines (Unit Park)

Hi,

As there's no MCP proposed, we'll endorse the BEP, the design guideline would not need to be endorsed, will send you the endorsed plan shortly.

Regards,



Ray Lin | Senior Town Planner – Growth Area | Planning & Building | City Design and Liveability
45 Princes Highway (PO Box 197) Werribee, Vic 3030
t: 8734 2666 | ext: 2666 | e: Ray.lin@wyndham.vic.gov.au

TARNEIT

Unity Park

DESIGN GUIDELINES

AUGUST 2021



Unity TARNEIT Park

1	Introduction	3
2	Statutory Obligations	4
3	The Design Review Committee Approval	5
4	Approval Process	6
5	Allowable Land	7
6	Minimum Floor Area	8
7	Service Connection	9
8	Construction Timeframes	9
9	Siting Your Home	10
10	Identical Façades	10
11	Architectural Style	10
12	Façade Design	11
13	Façade Materials and Colours	12
14	Roof Design	13
15	Ceiling Heights	13
16	Corner Allotments	14
17	Garages	15
18	Driveways	16
19	Fencing	17
20	Sloping Land	18
21	Retaining Walls	18
22	Landscaping	19
23	Services	20
24	Recycled Water	20
25	National Broadband Network	20
26	Construction Management	21
27	Sustainability & Efficient Living	22
	Appendix A	27
28	Application Form	28
	Disclaimer	29



01

Introduction

Unity Park vision is to provide a residential estate where the community becomes one. From the initial master planning, the amenity of all residents has been carefully considered and will emerge as a highly desirable residential community.

The Design Guidelines are in place to protect the investment of your home and ensure surrounding homes are of an equally high standard. They encourage a variety of contemporary styles and modern designs that will be harmonious to surrounding environments and provide a distinctive neighbourhood character.



02

Statutory Obligations

It is the responsibility of the Purchaser/Builder/ Building Surveyor to ensure compliance with any applicable statutory requirements, such as Building Regulations, planning requirements and current Victorian energy rating standards. Approval from the Design Review Committee (DRC) is not an endorsement that plans comply with such requirements.

03 The Design Review Committee Approval

- 3.1 All house designs and building works including fencing, retaining walls and outbuildings require approval from the Design Review Committee (DRC). Approval from the DRC is required prior to applying for a building permit for the construction of a new dwelling.
- 3.2 The DRC will assess all designs and if they are compliant with the design guidelines, provide a letter for approval along with an endorsed copy of the plans and external colour schedule. If the design submitted does not comply, the DRC will advise the applicant on the areas of non-compliance and the required amendments.
- 3.3 Applicants will then be required to submit amended documents in order to gain approval.
- 3.3 Please refer to the Developer Approval Application Form at the rear of this document for further information. The Application form must accompany the submission documents.
- 3.4 Before construction can commence, your house plans must be approved by the Unity Park Design Review Committee (DRC) prior to the application of a building permit.
- 3.5 Design approval from the DRC does not exempt the plans from any building or statutory regulations and the plans are not checked against these requirements.
- 3.6 The Design Guidelines may be amended from time to time at the Developer's discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals. Applications will be assessed against (and must comply with) the current version of the Design Guidelines. The final decision regarding all aspects of the Design Guidelines will be at the discretion of the DRC.
- 3.7 The DRC also reserve the right to waive or vary any requirements of the Design Guidelines, this will not set a precedent nor imply any such action will apply again.

04 Approval Process

The following steps illustrate the process to build at Unity Park

PURCHASE YOUR LOT



SELECT YOUR NEW HOME



LODGE YOUR SUBMISSION



DRC APPROVAL



OBTAIN A BUILDING PERMIT



COMMENCE CONSTRUCTION



COMPLETE CONSTRUCTION



4.1 Site Plan (Scale 1:200)

Must indicate all boundary setback dimensions, building envelopes, total site coverage and floor areas, site contours, natural ground levels and finish ground level, proposed earthworks and retaining wall, north point, vehicle crossover, driveway, fencing details, ancillary items, any proposed out-buildings.

4.2 Floor Plans (Scale 1:100)

Must indicate key dimensions and window positions.

4.3 Elevations (Scale 1:100)

Must include all 4 elevations and indicate building heights, finished floor to ceiling levels, roof pitch, eaves depth, external finishes, existing ground levels and retaining walls.

4.4 External Colour and Material Selection

Must include brands, colour names and colour swatches where possible.

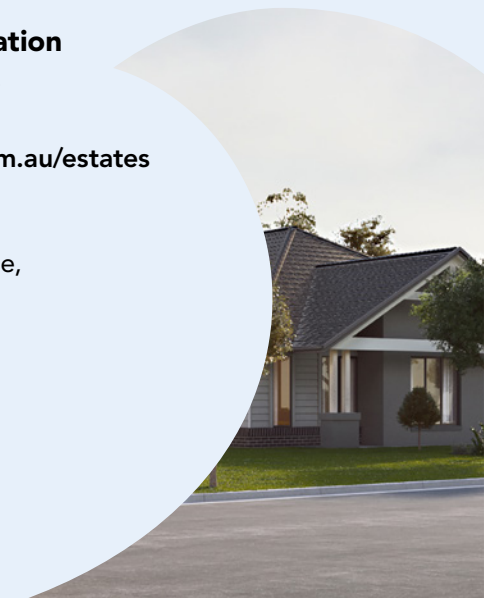
4.5 Where to Send Your Application

Unity Park Design Review Committee

All applications to be submitted via:

<https://portal.beveridgewilliams.com.au/estates>

The DRC will endeavour to assess proposals in the shortest possible time, which is generally within 10 business days of receipt of a completed and compliant application.



05 Allowable Land

- 5.1 No more than 1 dwelling may be constructed on the lot.
- 5.2 Lots cannot be further subdivided.
- 5.3 Relocatable homes are not permitted.
- 5.4 "Dual Key" dwellings are not permitted.
- 5.5 Dual Occupancy dwellings are only permitted on lots nominated in the Council Approved Planning Permit.



06 Minimum Floor Area

- 6.1 Minimum 100m² on lots less than 350m².
- 6.2 Minimum 120m² on lots between 350m²–600m².
- 6.3 Minimum 150m² on lots over 601m².
- 6.4 Floor area excludes garages, porches, verandas, pergolas, balconies or alfresco areas.



07 Service Connection

- 7.1 Your home must be connected to all available in ground services according to the service provider's standards. Including the purple pipe system for recycled water and NBN.

08 Construction Timeframes

- 8.1 Construction of your home is encouraged to begin within 12 months of settlement of your land. If construction does not occur within 12 months, lots must be turfed and maintained.
- 8.2 Certificate of Occupancy must be issued no later than 12 months after the commencement of construction.
- 8.3 Landscaping and fencing must be completed within 3 months of the Certificate of Occupancy being issued.



09 Siting Your Home

Rescode

- 9.1 All homes on lots greater than 300m² must comply with siting and setbacks under Part 5 of the Building Regulations 2018, unless a building envelope is applicable. Encroachments allowed as per Rescode.
- 9.2 All homes on lots under 300m² must comply with Small Lot Housing Code – SLHC and approved Small Lot Housing Code Plan – Appendix A
- 9.3 Your building surveyor will check your compliance with these regulations.
- 9.4 Garages must be setback a minimum 5m from the primary frontage and a minimum 840mm from the main building line.

10 Identical Façades

- 10.1 Two dwellings with the same front façade must not be built within three house lots. This includes lots either side, opposite and encompassing other street frontages where applicable.

11 Architectural Style

- 11.1 Period style reproduction will be considered on its individual design merit.

12 Façade Design



- 12.1 To ensure that dwellings constructed within the community are designed to a high-quality standard, they should be designed so that front and secondary street frontage façades are well articulated. Broad flat surfaces extending greater than 6 metres are not permitted.
- 12.2 Entries must be covered and clearly identifiable. Suggested entry features include: Porch, Portico, Verandah or Balconies.
- 12.3 Entry is to project forward of the main building line.
- 12.4 Entries must have a minimum 1.5m depth and a minimum 1.6m width;
- 12.5 One habitable room window to the façade.
- 12.6 Lots with a width of 18m or greater must have a minimum two room frontage with windows facing the primary street.
- 12.7 Single storey dwellings on lots with a width of 18m or more must have a minimum dwelling width of 13m.
- 12.8 Sliding windows are not permitted to the façade.
- 12.9 Roller shutters, vertical blinds and grill screens are not permitted.

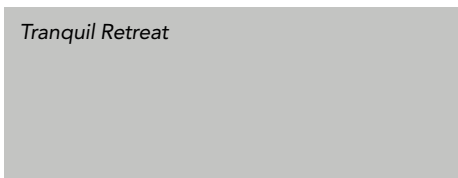
13 Façade Materials and Colours

- 13.1 External walls of your home must be from a combination of materials and colours. A minimum of two materials and colours are required and both materials and colours must equate to a minimum 30% each.
- 13.2 Materials used on the façade must return a minimum 1m or to the return fence line (whichever is greater) to non-corner lots.
- 13.3 Lightweight infill is not permitted above windows and doors visible to the public.
- 13.4 The material used above windows and doors is required to match the adjoining surface.
- 13.5 Unpainted metalwork is not permitted.
- 13.6 Downpipes, gutters and fascia must be colour coordinated with the remainder of the dwelling.
- 13.7 The external colour scheme of your home should be neutral tones that blend in with the surrounding environment. Muted tones are preferred. No bright colours.

White on White



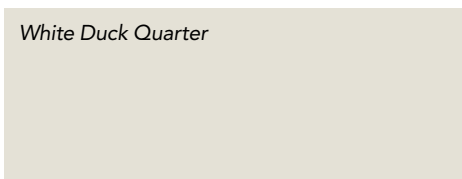
Tranquil Retreat



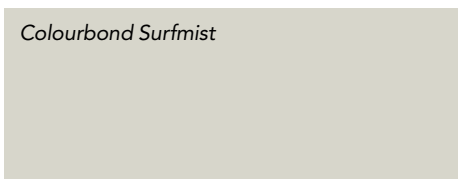
Grey Pail



White Duck Quarter



Colourbond Surfmist



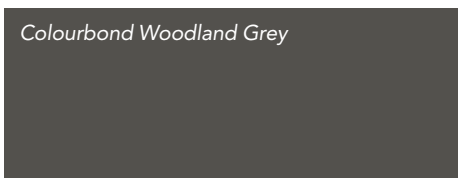
Still



Western Myall



Colourbond Woodland Grey

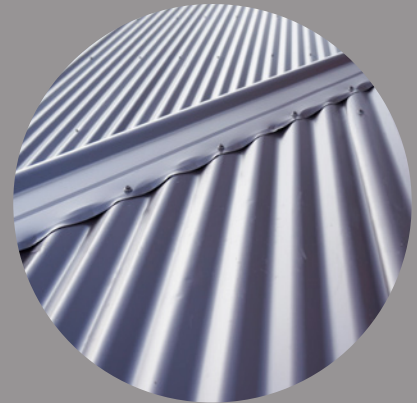


Domino

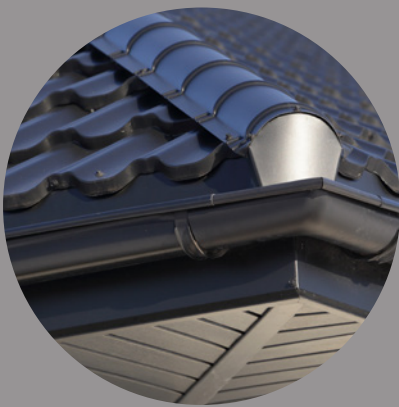


14

Roof Design



- 14.1 Where there is a roof pitch it must be a minimum 22.5°. Where a skillion roof style is incorporated it must have a minimum pitch of 5° and be proportional to the main body of the home.
- 14.2 All roofs must incorporate eaves of a minimum 450mm to any street or open space frontages.
- 14.3 All pitched roofs to double storey homes must incorporate 450mm to the entire roof line.
- 14.4 Eaves must return to the point of the first habitable room window or 3.0m, whichever is greater.
- 14.5 Where a parapet wall is constructed eaves are not required.
- 14.6 Roofs must be constructed from terracotta, slate or concrete tiles or pre-finished metal roof sheeting. Galvanised or zinalume is not permitted.
- 14.7 Roof colours are to be of neutral tones. Parapets, flat and curved roofs will be reviewed on architectural merit.
- 14.8 Roofing must be of low reflective materials.



15

Ceiling Heights

- 15.1 Ceiling heights to the ground floor of double storeys and all single storey homes must be a minimum 2590mm.

16 Corner Allotments

- 16.1 Treatment must be provided to side street and reserve elevations visible to the public. Both single and double storey dwellings are to be designed incorporating feature elements that address both the primary and secondary frontage. Treatment is required to the area visible to the public.
- 16.2 The secondary frontage must include feature window/s matching the style of the window/s on the primary façade.
- 16.3 At least one habitable room window, forward of the corner boundary fence return, must be presented to each frontage. If the dwelling is double storey, at least one habitable room window must be provided to each level.
- 16.4 Articulation is strongly encouraged with the use of piers, wrap around verandas or pergola structures to the street or reserve.
- 16.5 Materials used on the primary façade must return along the secondary frontage for a minimum 3.0m.
- 16.6 Eaves are required to return the full length of the dwelling. Except where a parapet wall has been provided.
- 16.7 Blank walls facing the secondary frontage are not permitted.
- 16.8 Solar panels are encouraged to not be visible to the public realm, including side street where possible.



17

Garages

- 17.1 All homes must have a garage which is incorporated into the dwelling roof line.
- 17.2 The garage must be setback a minimum 5m from the frontage and a minimum 840mm behind the main building line.
- 17.3 The garage door must be sectional or panel lift.
- 17.4 Roller doors are not permitted where visible to the public.
- 17.5 On lots with a width of 12.5m or greater, a double garage must be constructed. The Garage opening must not exceed 40% of the lot width for a single storey. For a double storey dwelling, garage openings should not exceed 30% of the area of the front façade of the dwelling. Where garage openings exceed 30% of the front façade of the dwelling, the second storey component above the garage must not be set back behind the garage roof.
- 17.6 Carports are not permitted.
- 17.7 Boats, caravans, motorhomes, or trailers are not permitted in the front yard or street, they must be garaged or located behind the front fence return.
- 17.8 Garages are not permitted to be constructed on the corner where the primary and secondary frontages meet.



18 Driveways



- 18.1 Driveways must be fully constructed prior to the occupation of the dwelling.
- 18.2 Only one driveway permitted per lot.
- 18.3 Acceptable driveway materials are: coloured concrete, or exposed aggregate.
- 18.4 Plain concrete driveways and front paths are not permitted.
- 18.5 Driveway colours should be of muted tones that complement the external colour scheme of your home.
- 18.6 The driveway shall be no wider than the width of the garage opening and tapering to match the width of the crossover.
- 18.7 A minimum 500mm landscape strip is required between the driveway and the side boundary.
- 18.8 Crossover relocations are strongly discouraged and will be at the cost of the lot owner.
- 18.9 Driveway width and crossover extensions (subject to Council approval) will only be considered on irregular shaped lots or irregular sitings and a maximum of 1000mm extension is permitted.



19

Fencing

19.1 Side and rear fencing

To be constructed of capped vertical butted timber palings to a height of 1.8m.

19.2 Return Fencing

To return to the sides of the dwelling a minimum 1.0m from the main building line and be the same height as the side fencing. Must be painted or stained to match the façade.

19.3 Secondary Frontage Fencing

On secondary frontage lots the fencing must be a maximum 1.8m high and constructed of capped vertical butted timber palings with exposed posts and must return a minimum 3.0m from the main building line. Must be painted or stained to match the façade. Muted tones are preferred. No bright colours.

19.4 Landscape planting combined with some articulation is encouraged where possible.

19.5 Front fencing

Not permitted on lots under 800m². Front fencing may be considered for lots over 800m². Must not exceed 1m in height and must be at least 40% transparent. Must continue to a minimum of 1m behind the main building line. Must not be constructed on top of a retaining wall. Details to be provided with application.

19.6 No colorbond fencing.



20 Sloping Land

- 20.1 Dwellings and garages must be sited and designed to take advantage of the natural sloping conditions. Dwellings must be integrated into the existing slope and mimic the natural fall of the land. Split level homes are designed to follow the fall of the land and avoid unsightly and expensive earthworks that scar the natural landscape.
- 20.2 A well designed home on a sloping lot should have minimal excavation work and where applicable attractive retaining walls.
- 20.3 Undercroft areas visible from the primary and secondary streets must be screened. This may be achieved through battening, landscaping or a combination of both.
- 20.4 Advice should be sought from building designers experienced in a wide range of slope sensitive designs.
- 20.5 Where a site excavation is required, it should be minimised where possible.
- 20.6 We strongly recommend the use of batters to any site cut with consideration of landscaping options, as this is more visually pleasing.

21 Retaining Walls

- 22.1 The maximum permissible height for retaining walls visible to the public is 1200mm.
- 22.2 Materials for the retaining walls must take into consideration the overall design of the dwelling and can include:
- Coloured and textured concrete sleepers
 - Stained or painted smooth sawn sleepers
 - Blockwork with a bagged and painted, rendered or stone clad finish
- 22.3 Retaining walls constructed by the Developer are not permitted to be altered or removed.
- 22.4 Unpainted timber sleepers are not permitted unless they are of a high architectural quality.
- 22.5 Unfinished concrete walls/blocks are prohibited.

22 Landscaping

- 22.1** Landscaping plays an integral part in assisting to soften the built form of the streetscape. It is also a useful element in providing privacy screening and shade during summer. The selection of planting should be appropriate for the conditions of placement, such as orientation, solar access and the topography of the land. Careful landscape and plant selection should minimize the need for garden watering.
- 22.2** Front landscape designs must be submitted at time of developer approval application. Failure to submit landscape plans will prevent an approval being issued. Hand drawn plans are acceptable.
- 22.3** Front landscaping must be completed within 12 weeks of house completion. This includes turfing and planting.
- 22.4** Impermeable hard surface areas must not exceed 40% of the front garden area including driveways and pathways;
- 22.5** A minimum softscape area of 60% of the total front garden area is to be installed, with at least 30% of the softscape area consisting of planted garden bed.
- 22.6** Garden beds should be mulched and where mulch is used, it must be of natural colour.
- 22.7** Turf should be warm season species such as Kikuyu, Buffalo or Couch grass. Artificial turf is not permitted forward of the front fence.
- 22.8** A minimum of one canopy tree with a minimum mature height of 2m must be included in the front landscaping.
- 22.9** Lots greater than 600m² must include an indigenous species as the canopy tree to the front yard.
- 22.10** It is the responsibility of the allotment owner to establish and maintain turf on nature strips. No crushed rock or Lilydale topping permitted.
- 22.11** Letterboxes are required to be constructed in accordance with Australia Post standards and must be designed to match the dwelling, using similar materials and colours. Must be erected prior to occupancy permit.



23

Services

- 23.1 Ancillary items are not permitted to be visible to the main street frontage or secondary frontage. These items include Hot Water Services, Ducted Heating Unit, Rainwater Tanks, Clothes Lines, Sheds and Rubbish Bins.
- 23.2 Roof mounted satellite dishes and TV aerials are to be located to the rear of the dwelling.
- 23.3 Air conditioning units are to be located away from public view and must be located below the ridge line.
- 23.4 Meter boxes and gas meters are to be located away from public view, where this is not possible, meter boxes must be coloured to match to the wall.

24

Recycled Water

- 24.1 The dwelling must be connected to recycled water.

25

National Broadband Network

- 25.1 Unity Park will provide infrastructure to enable telecommunication providers to install cabling. All homes constructed at Unity Park must include conduits, cabling and housing and comply with NBN Co Limited Building Ready Specifications.

26 Construction Management

- 26.1 During the construction of your dwelling, the builder must install a temporary fence and ensure that all rubbish and building waste is contained within the allotment. Regular rubbish removal must be carried out and any waste bins must be covered to prevent wind-blown matter.
- 26.2 Street trees and nature strips must be protected. Damage to nature strips, paths, kerbs and street trees caused during the dwelling construction is solely the responsibility of the lot owner and their builder, and any rectification required will be invoiced to the lot owner.
- 26.3 Nature strips must be maintained at all times including weed eradication and mowing.



27 Sustainability & Efficient Living

- 27.1 The DRC supports and encourages all efforts made to reduce a household's impact on the environment, particularly by limiting the overall energy and water consumption of the household.
- 27.2 For additional guidance please refer to the Sustainable Living Education Pack.
- 27.3 Designing, building and living in a more sustainable house has numerous long term financial health and comfort related benefits. Environmentally conscious homes also reduce impact on the wider environment and community.

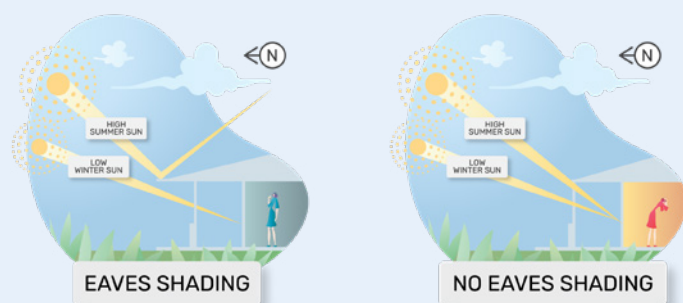
Passive Solar Design

Solar Access and House Orientation

- 27.4 Aim to orientate your living rooms and kitchen towards north to capture more natural day light. This strategy will reduce your need to use electricity for lighting. Naturally bedrooms are a lower priority when it comes to needing daylight.

Shading

- 27.5 By using sufficient shading on the northern side, preferably using eaves, you can let sun light inside in winter but keep the heat out in summer. Eaves let the lower winter sun inside and keep the higher tracking summer sun out. Aim to shade your eastern and western facing walls and windows where possible. Eaves are recommended for all sides of your home for shading and some protection from wind and rain.



Windows

- 27.6 Use larger windows on the northern side of the house to let winter sunlight in but use optimal shading above them. Minimise windows and their sizes on the east and west as these are harder to shade and will expose rooms to more heat in summer.

Colours

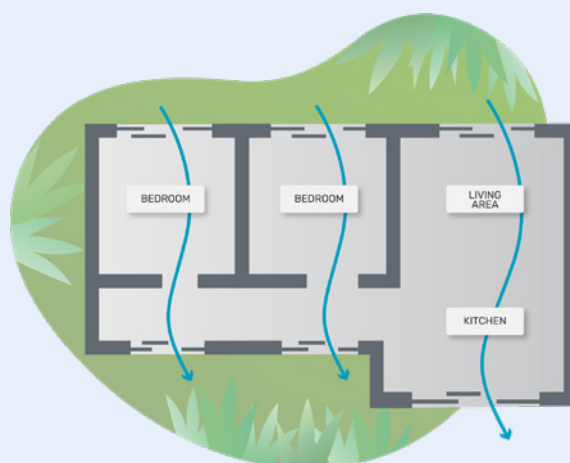
- 27.7 Since lighter colours tend to reflect rather than absorb heat, aim to use a lighter coloured roof and internal walls. This strategy will reduce heat gain and hence your summer cooling bills.

Insulation

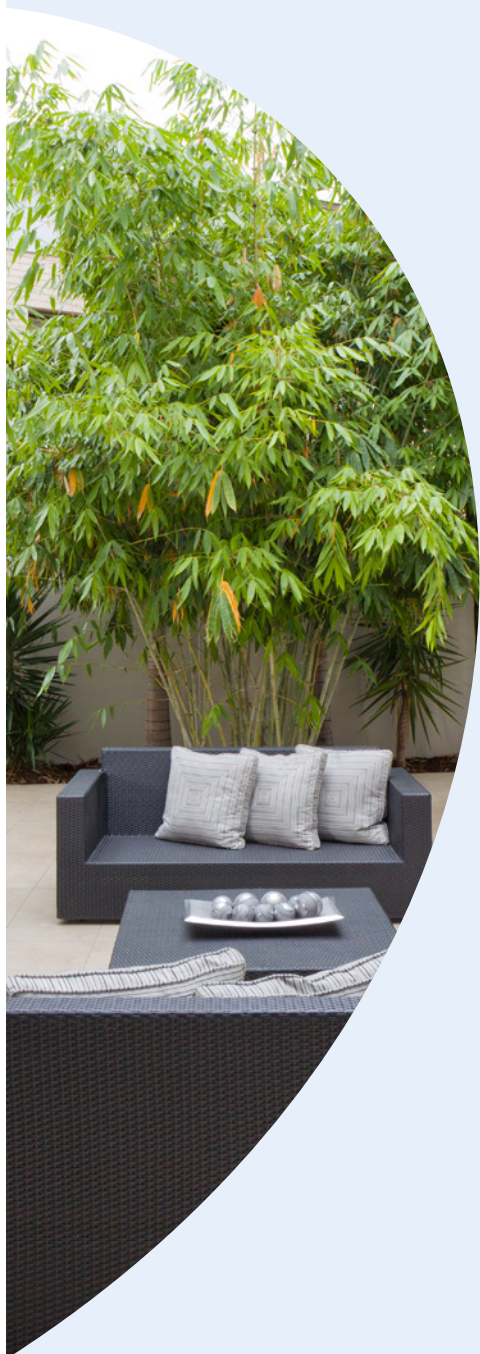
- 27.8 Ensure you insulate roof spaces and walls well to significantly reduce greenhouse gas emissions and power bills.

Ventilation

- 27.9 Position your windows to encourage cross ventilation, as air slows down if it has to travel around corners or cannot exit on thru the other side.



- 27.10 Use skylights with ventilation capabilities in bathrooms. Skylights can light a room during daylight hours for free and make it too sunny for mould to accumulate.
- 27.11 Use active ventilation systems to ventilate roof spaces.
- 27.12 Install ceiling fans in living areas and bedrooms



Energy

27.13 Hot water heating, air conditioning and appliances, refrigeration and lighting contribute the most to household energy bills so aim to:

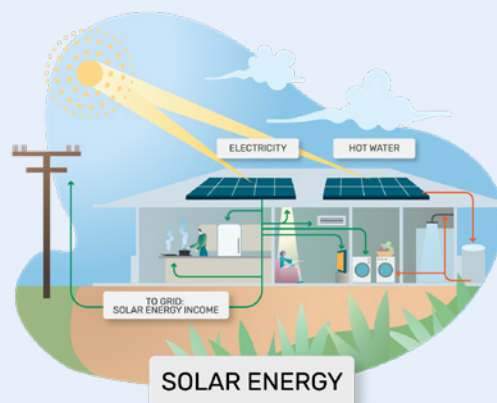
- Preference appliances with higher Star ratings such as TVs, refrigerators, dishwashers, washing machines and computer monitors.
- Use efficient LED lights. Halogen and most other light are relatively inefficient and add heat to a room.
- If you wish to go beyond the National Construction Code minimum for Thermal Performance (for example 6.0 Stars), improve your design and aim for a 'thermal performance energy rating' of 6.5 to 8 Stars using an accredited NatHERS energy assessor to reduce your bills and increase your comfort.

Natural Gas

27.14 You may connect your house to the reticulated underground natural gas system for uses such as cooktop/oven cooking, heating and hot water boosting/heating. Using gas instead of coal-fired power station electricity can reduce greenhouse gas emissions, especially if you do not have renewable (roof top solar) energy.

Renewable Energy

27.15 By installing a rooftop solar photovoltaic (PV) energy system your home can generate electricity during the day which is better for the environment and will reduce your energy bills. Consider a 3kW to 9kW solar energy system for your roof, especially as most cars in the future will be electric and could be charged using your cheaper solar electricity. Aim to install a Solar PV system on your north, east and/or west facing roofs. A north facing pitch of around 22 to 28 degrees is optimal.



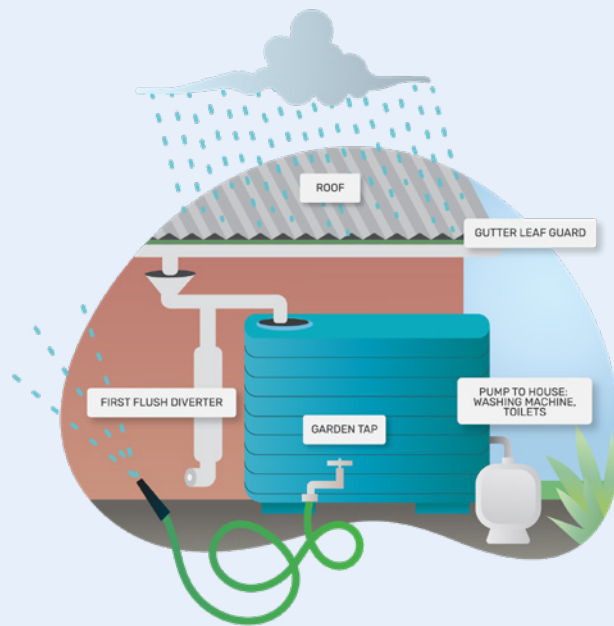
Materials

27.16 Aim to preference materials that have a lower impact such as those with independent certifications or made from natural materials. Aim to avoid materials that contain volatile organic compounds (VOC), such as many paints, finishes and adhesives which can cause irritation and allergies and impact poorly on your health.

Water

Rainwater

27.17 You may install a rainwater tank and harvest free rain from your rooftops. Rainwater can be connected to your toilets (if not connected to recycled water network) and washing machine or used for watering your garden which can reduce your water bills.



27.18 To be water efficient aim to:

- Use water efficient showerheads with a minimum 3 Star Water Efficiency Labelling Scheme (WELS) rating.
- Install Water efficient toilets with 4+ Star WELS rating.
- Purchase dishwashers with 4+ Star WELS rating.

Waste Reduction

27.19 Builders can recycle at least 80% of all construction waste.



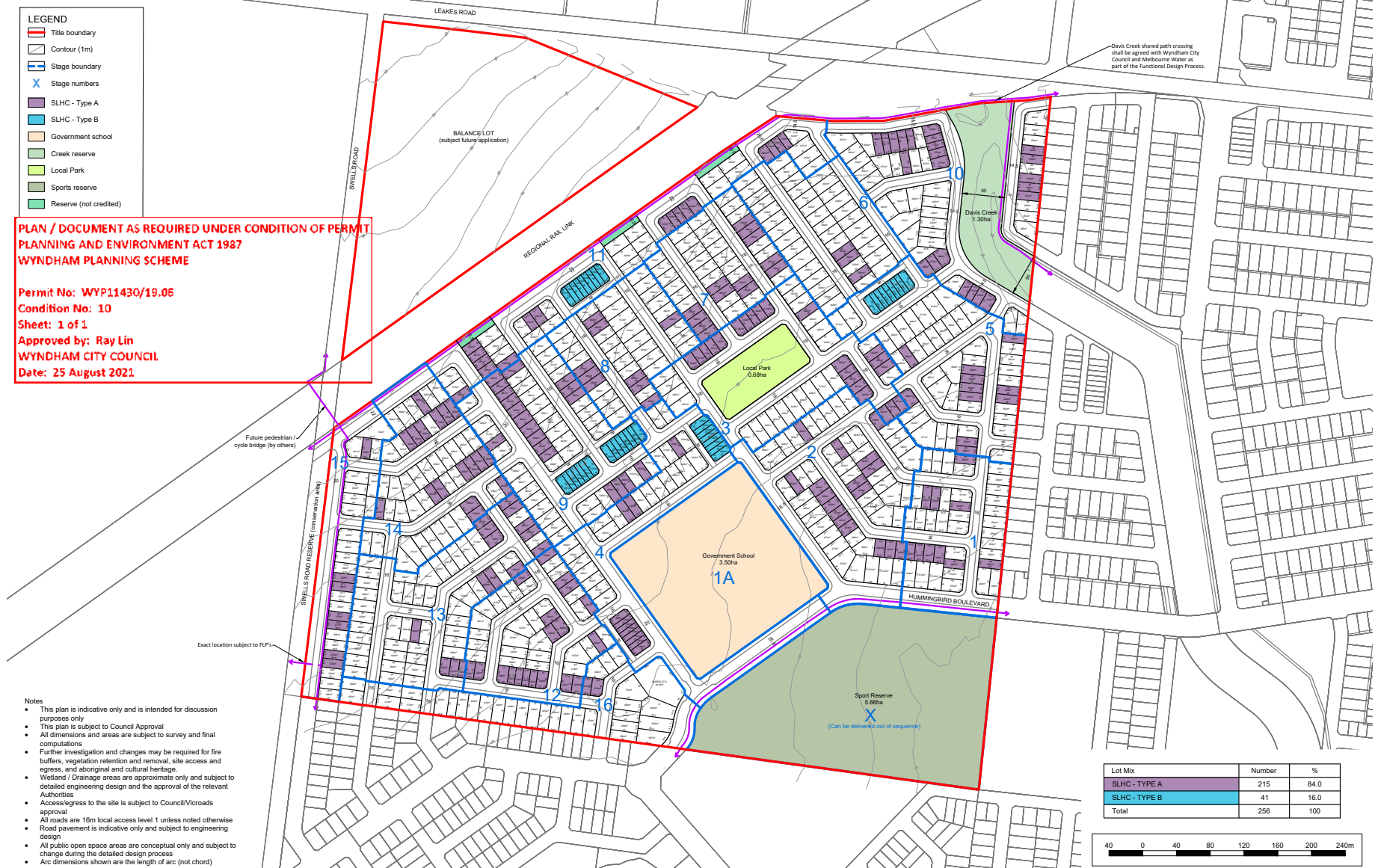
Flora and Fauna

27.20 Beyond growing plants for food production, aim to install mainly endemic native plant species as they will adapt to local climate conditions and survive summer and winter conditions better than introduced species. Local species will also require less or no watering and provide native birds and animals with food they need to survive.

Front Landscape

27.21 Aim to landscape at least your front yard with native vegetation or grass as this will keep your house cooler in summer. Avoid planting tree species near your home that will grow tall and shade solar energy panels on your roof or drop leaves onto your roof or gutters.





Small Lot Housing Code Plan
 1135 Leakes Road, Tarneit
 HB Land Pty Ltd

Version	Date	Description	Drafted	Approved
01	22.07.2021	Final Issue	WEB	WEB
02	26.07.2021	Amended based on clients comments	WEB	WEB
03	11.08.2021	Amended lot type fronting school	KT	KT

Date: 11.08.2021
 Version No: 03
 Job No: 2001497
 Scale (A1): 1:2000
 (A3): 1:4000

K:\JOB\DATA\2001497 - 1135 LEAKES ROAD-TARNEIT_LID\CAD\2001497_LID_BA001.DWG

1 Glenferrie Road, Malvern, Victoria 3144
 ph: 03 9524 8888 www.beveridgewilliams.com.au

28 Application Form

Please detach this form and complete the details for the submission to the Unity Park Design Review Committee for plan approval.

PROPERTY DETAILS

Lot Number: _____

Street Number: _____

Estate Stage Number: _____

APPLICATION INFORMATION (PREFERRED CONTACT)

Name: _____

Current Address: _____

Post Code: _____

Telephone: _____ Mobile: _____

Email: _____

OWNER(S) DETAILS

Name: _____

Current Address: _____

Post Code: _____

Telephone: _____ Mobile: _____

Email: _____

BUILDER/BUILDING DESIGNER/ARCHITECT DETAILS

Name: _____

Company: _____

Current Address: _____

Post Code: _____

Telephone: _____ Mobile: _____

Email: _____

ESTATE DESIGN SUBMISSION REQUIREMENTS Include the following documents (tick box)

- Site plan (min scale 1:200) including: setbacks from all boundaries, Site Levels (contours) extend of earthworks, FFL to House and Garage, driveway access and path details, all Fencing locations, materials and heights.
- Dimensioned Floor Plans (min scale 1:100), window positions, roof plan
- All Elevations (min scale 1:100). Elevations are to include building and wall heights, roof pitches, eave size, external fixtures, external surface finishes
- Cross sections indicating details of ceiling height
- Schedule of external materials, colours and finishes, including driveway
- Landscaping concept plan. Can be developer supplied design if part of sales contract.
- Application form

****Allow a minimum of 10 working days for processing and assessment on the provision all required documentation is submitted.**



Information in this document is given with care but without responsibility. Purchasers and owners of allotments are responsible for the implementation of the Design Guidelines.

UNITY PARK SALES & INFORMATION CENTRE
HUMMINGBIRD BOULEVARD, TARNEIT
UNITYPARK.COM.AU