



# Imaged Document Cover Sheet

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Document Identification	<b>PS740711M</b>
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<h1>PLAN OF SUBDIVISION</h1>	<b>EDITION 1</b>	<h1>PS 740711 M</h1>
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<p><b>LOCATION OF LAND</b></p> <p>PARISH: Pakenham  TOWNSHIP: ---  SECTION: ---  CROWN ALLOTMENT: 26 (part) &amp; 27 (part)  CROWN PORTION: ---  TITLE REFERENCE: Vol. 11620 Fol. 599 &amp; 600</p> <p>LAST PLAN REFERENCE: Lots 1 &amp; 2 on PS 635137 F  POSTAL ADDRESS: 175 Rix Road, OFFICER 3809  (at time of subdivision)</p> <p>MGA CO-ORDINATES: E: 358 550                      ZONE: 55  (of approx centre of land                      N: 5 785 300                      GDA 94  in plan)</p>	<p>Council Name: Cardinia Shire Council</p> <p>Council Reference Number: S16/069  Planning Permit Reference: T150610  SPEAR Reference Number: S083465E</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988  Date of original certification under section 6: 06/02/2017</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied</p> <p>Digitally signed by: Sonia Higgins for Cardinia Shire Council on 01/06/2018</p> <p>Statement Of Compliance issued: 08/06/2018</p>
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VESTING OF ROADS AND/OR RESERVES	NOTATIONS										
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:20%;">IDENTIFIER</th> <th>COUNCIL/BODY/PERSON</th> </tr> </thead> <tbody> <tr> <td>R-1 ROAD</td> <td>Cardinia Shire Council</td> </tr> <tr> <td>Reserve RES1</td> <td>AusNet Electricity Services Pty Ltd</td> </tr> <tr> <td>Reserve RES2</td> <td>AusNet Electricity Services Pty Ltd</td> </tr> <tr> <td>Reserve RES3</td> <td>Cardinia Shire Council</td> </tr> </tbody> </table>	IDENTIFIER	COUNCIL/BODY/PERSON	R-1 ROAD	Cardinia Shire Council	Reserve RES1	AusNet Electricity Services Pty Ltd	Reserve RES2	AusNet Electricity Services Pty Ltd	Reserve RES3	Cardinia Shire Council	<p><u>Other Purpose of Plan</u></p> <ol style="list-style-type: none"> <li>Removal of the Easement shown as E-4 &amp; E-5 on PS 635137F, being a Powerline Easement in favour of SPI Electricity Pty Ltd created by PS 635137F &amp; Section 88 of the Electricity Industry Act 2000.</li> <li>Removal of the Easement shown as E-1 &amp; E-2 on PS 635137F, being a Powerline Easement in favour of the State Electricity Commission of Victoria created by LP 221324F &amp; Section 103B of the State Electricity Commission Act.</li> <li>Removal of the Easement shown as E-2 on PS 635137F, being a Powerline Easement in favour of the State Electricity Commission of Victoria created by LP 221324F &amp; Section 103B of the State Electricity Commission Act; and a Sewerage &amp; Water Supply Easement in favour of the C/T Vol. 11131 Fol. 091 created by PS 635137F.</li> <li>Removal of the Easement shown as E-4 on PS 635137F, being a Drainage Easement in favour of the Cardinia Shire Council created by PS 635137F.</li> <li>Removal of part of the Easement shown as E-3 on PS 635137F, being a Sewerage &amp; Water Supply Easement in favour of the C/T Vol. 11131 Fol. 091 created by PS 635137F; and a Drainage Easement in favour of the Cardinia Shire Council created by PS 635137F.</li> </ol> <p><u>Grounds for Removal</u></p> <p>Cardinia Shire Council Planning Permit T150610</p> <p>Lot 1 is not the subject of this plan</p>
IDENTIFIER	COUNCIL/BODY/PERSON										
R-1 ROAD	Cardinia Shire Council										
Reserve RES1	AusNet Electricity Services Pty Ltd										
Reserve RES2	AusNet Electricity Services Pty Ltd										
Reserve RES3	Cardinia Shire Council										
NOTATIONS											
DEPTH LIMITATION: DOES NOT APPLY											
<p>SURVEY: <span style="margin-left: 20px;">partial</span>  This plan is based on survey.</p> <p>STAGING:  This is not a staged subdivision.  Planning Permit No. T150610</p> <p>This survey has been connected to permanent marks No(s). 20, 26, 105 &amp; 183  In Proclaimed Survey Area No. 71</p> <p>This is a Spear Plan</p> <p>Lots 2 - 100 (both inclusive) have been omitted from this plan.</p> <p><u>Other Purpose of Plan</u>  Creation of Restrictions see sheets 8 to 13 (both inclusive).</p>											

**EASEMENT INFORMATION**

LEGEND: A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
<h2>SEE SHEET 2</h2>				


<p><b>NOBELIUS LAND SURVEYORS</b></p> <p>P.O. BOX 461  PAKENHAM 3810  Ph 03 5941 4112  mail@nobelius.com.au</p>	<p>SURVEYORS FILE REF: 10,599</p>	<p>ORIGINAL SHEET  SIZE: A3</p>	<p>SHEET 1 OF 13</p>
	<p>Digitally signed by: Benjamin Stephen Nobelius (Nobelius Land Surveyors Pty Ltd),  Surveyor's Plan Version (Version 12),  22/01/2018, SPEAR Ref: S083465E</p>		<p>PLAN REGISTERED  TIME: 02:25 pm    DATE: 03/07/2018 H.L.  Assistant Registrar of Titles</p>

<b>PLAN OF SUBDIVISION</b>	<b>EDITION 1</b>	<b>PS 740711 M</b>
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**EASEMENT INFORMATION**

**LEGEND:** A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

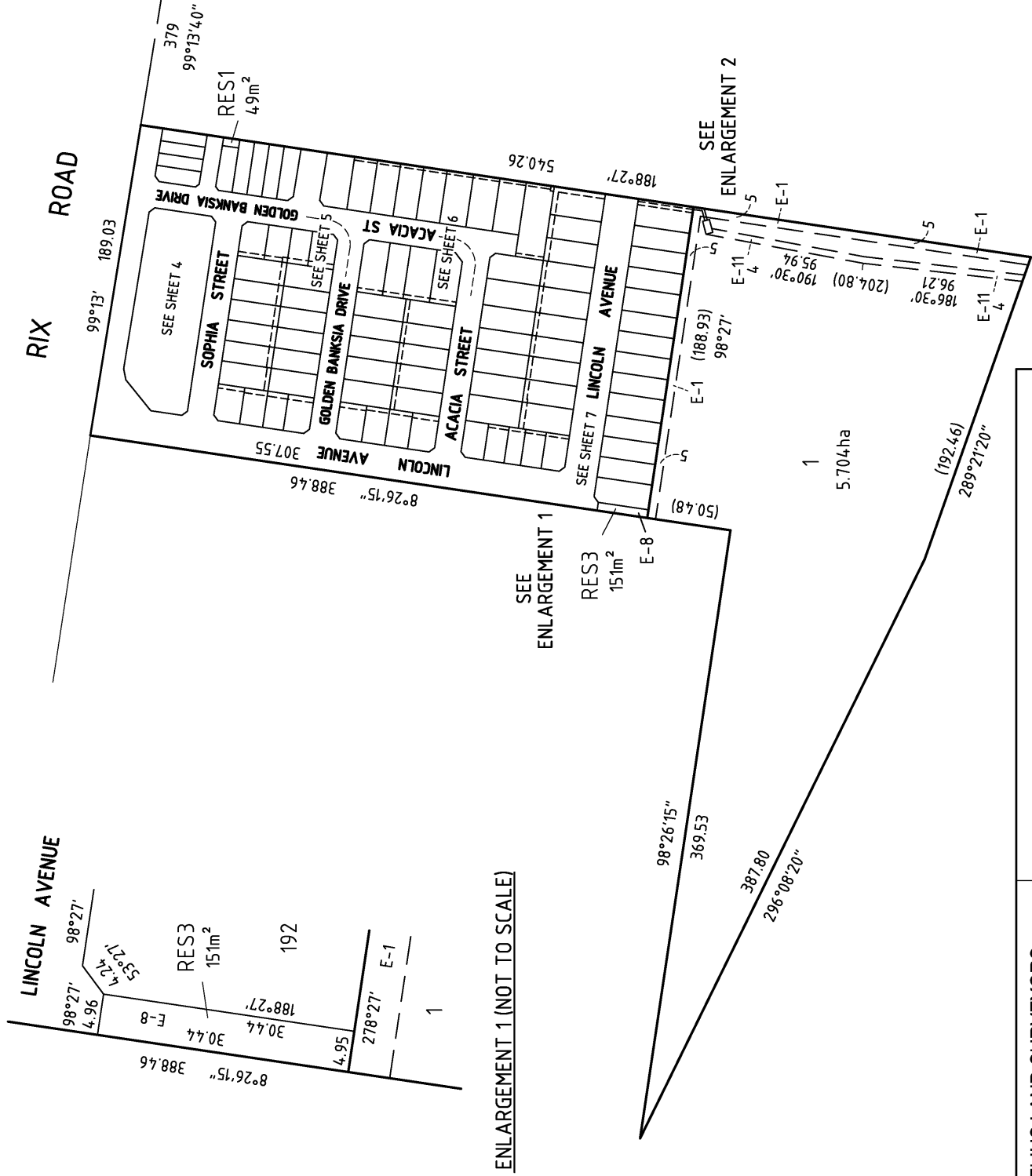
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 & E-9	Sewerage & Water Supply	See Plan	PS 635137 F	C/T Vol. 11131 Fol. 091
E-1 & E-9	Drainage	See Plan	PS 635137 F	Cardinia Shire Council
E-4 & E-10	Drainage	3	This Plan	Cardinia Shire Council
E-4	Sewerage	3	This Plan	South East Water Corporation
E-5	Sewerage	2.50	This Plan	South East Water Corporation
E-6	Drainage	2	This Plan	Cardinia Shire Council
E-7 & E-9	Powerline	See Plan	This Plan (Sec. 88 Electricity Industry Act 2000)	AusNet Electricity Services Pty Ltd
E-8	Telecommunications (Transmission of telecommunication signals by 'underground cable')	See Plan	This Plan	All Lots on This Plan
E-8	Water Supply	See Plan	This Plan	South East Water Corporation
E-11	Carriageway	4	This Plan	AusNet Electricity Services Pty Ltd

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PS 740711 M

RIX ROAD

STEPHENS ROAD



ENLARGEMENT 1 (NOT TO SCALE)

ENLARGEMENT 2 (NOT TO SCALE)

SCALE	1:2500
ORIGINAL SHEET SIZE:	A3
LENGTHS ARE IN METRES	

SHEET 3

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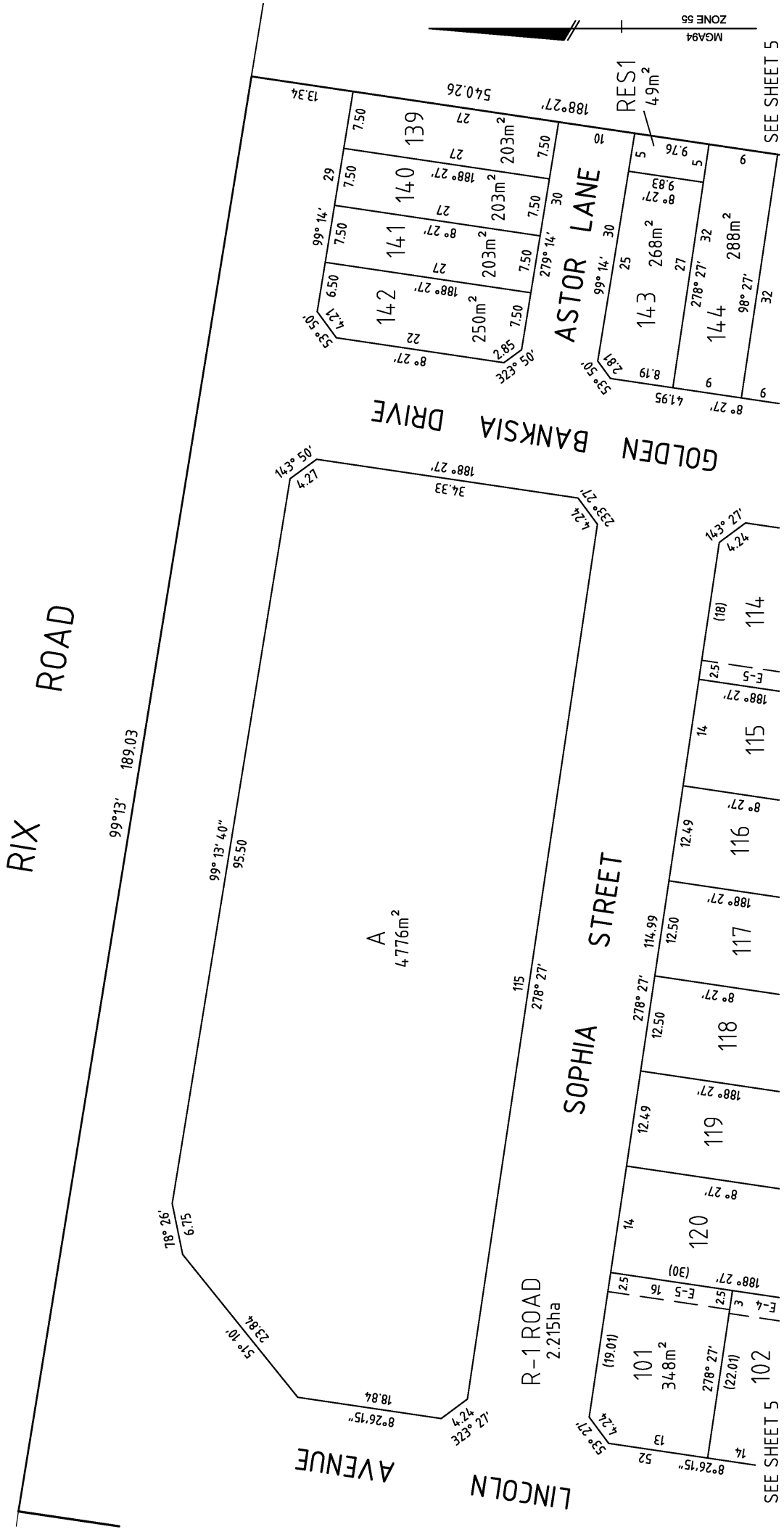
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**SCALE**  
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**LENGTHS ARE IN METRES**

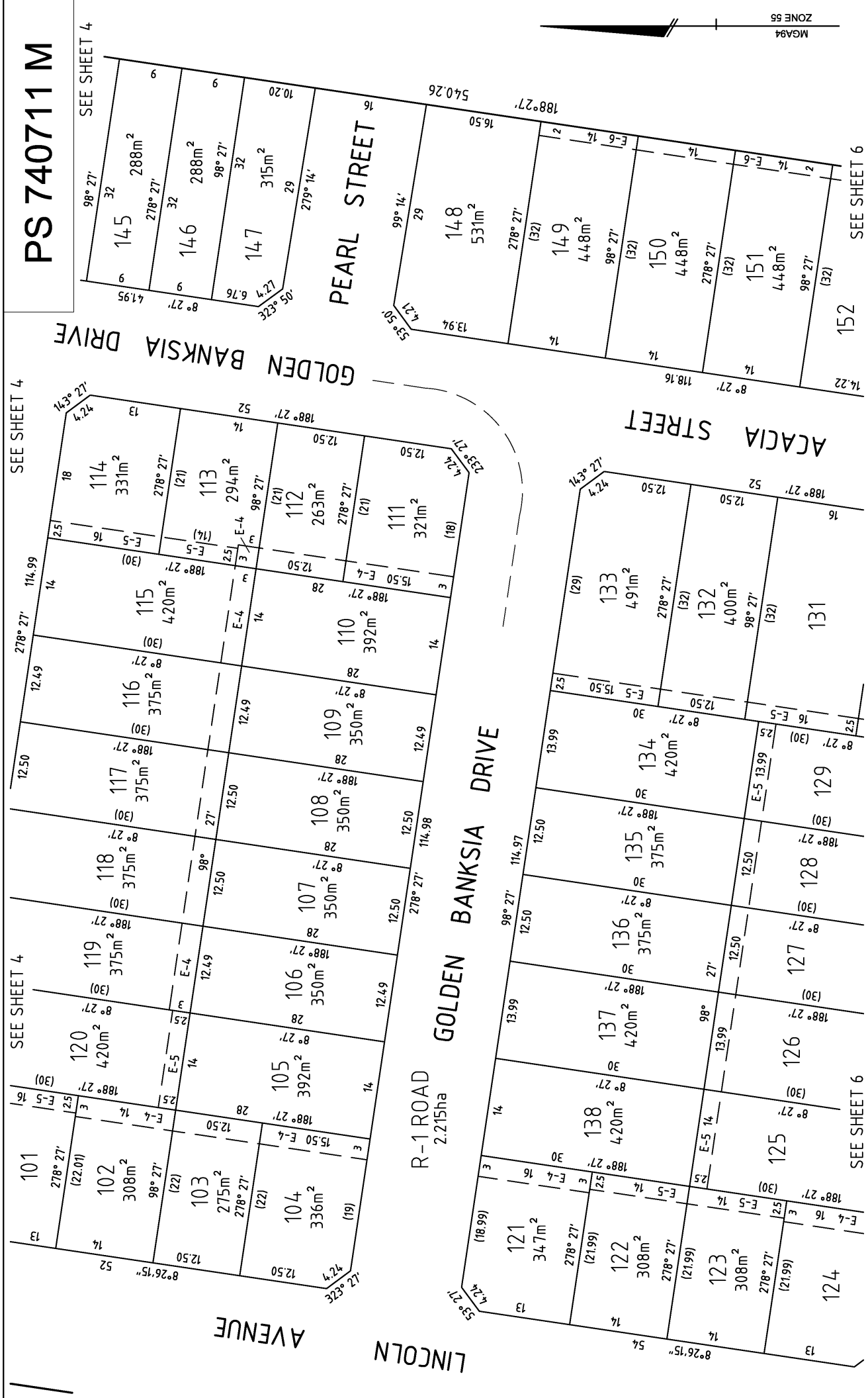
**ORIGINAL SHEET SIZE: A3**

**SHEET 4**

**SEE SHEET 5**

**SEE SHEET 5**

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**PS 740711 M**

SEE SHEET 4

SEE SHEET 6

ORIGINAL SHEET  
SIZE: A3

SHEET 5

SCALE  
1:500

LENGTHS ARE IN METRES

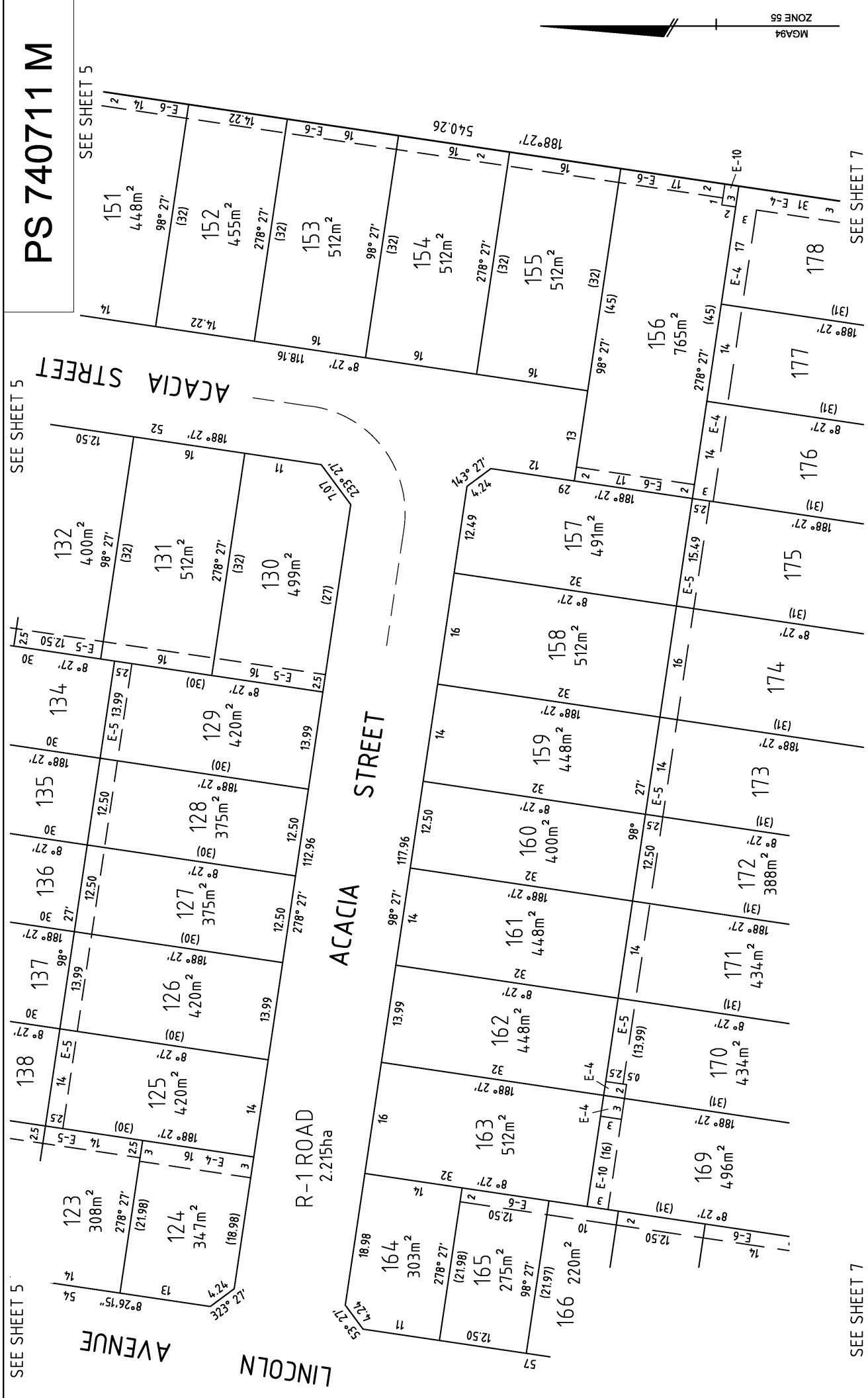
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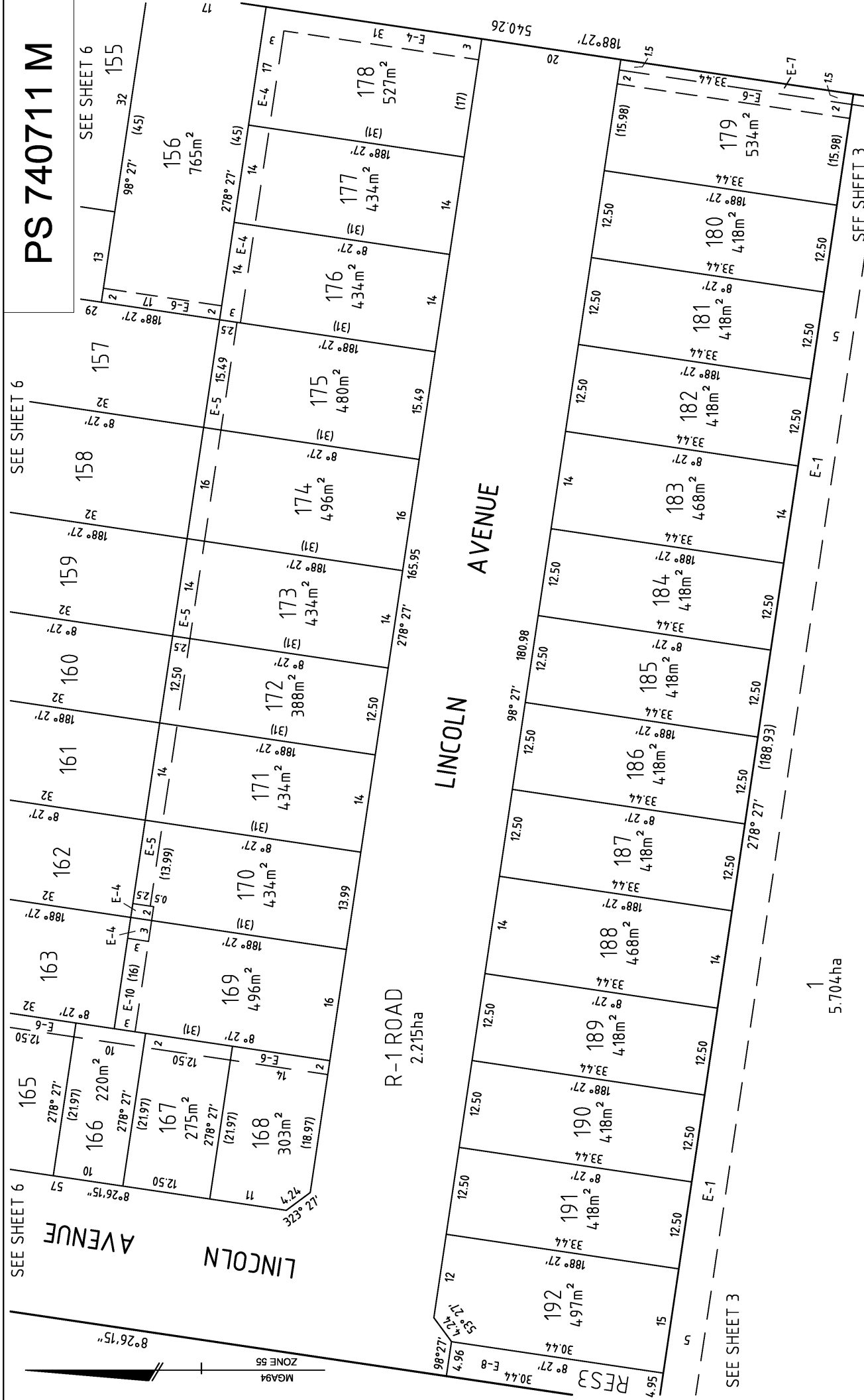
Amended by: Benjamin Stephen Nobelius, 27/06/2018.





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SHEET 7

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PS 740711 M

RIX ROAD

99°13' 189.03

AVENUE

A

LINCOLN

R-1 ROAD

SOPHIA STREET

GOLDEN BANKSIA DRIVE

ASTOR LANE

RES1

142

141

140

139

540.26



143

144

SEE SHEET 9

SEE SHEET 9

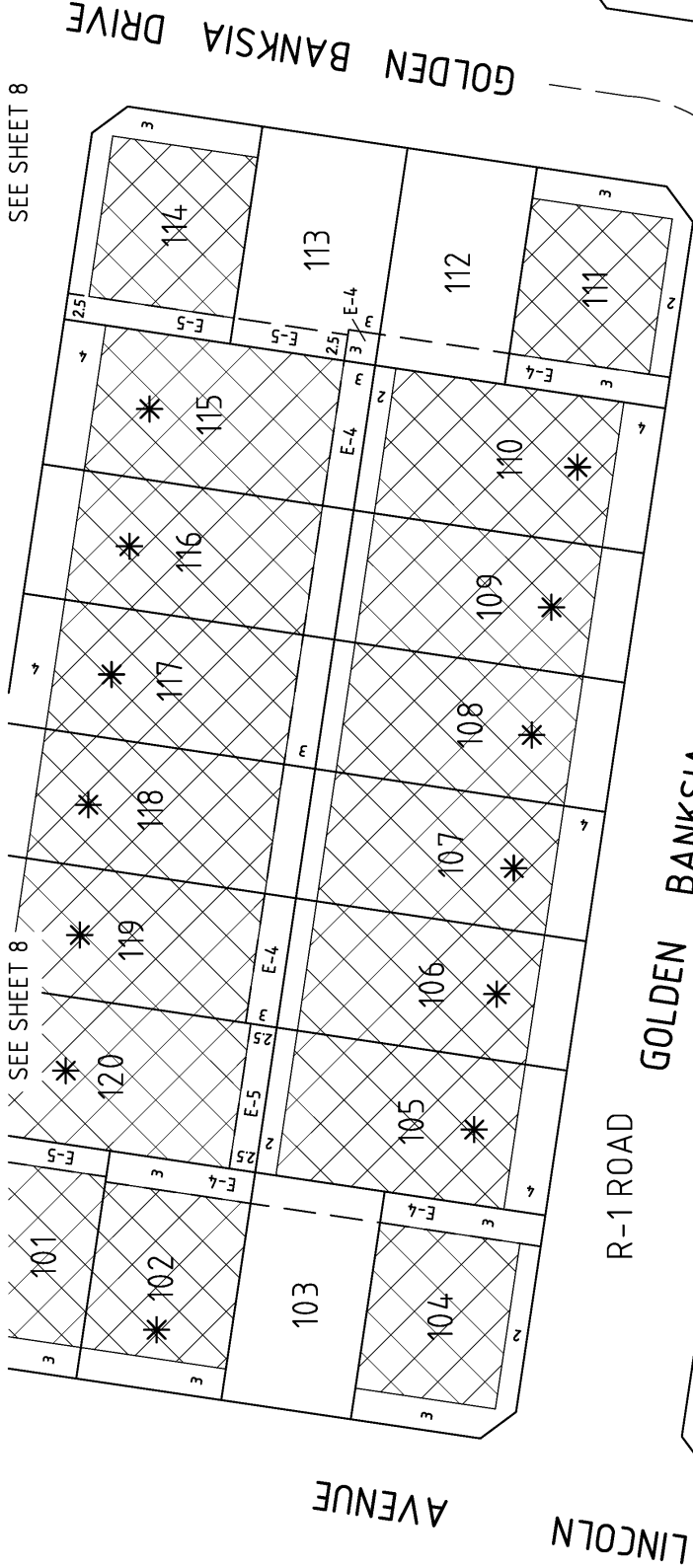
MGA94  
ZONE 56

<p>SCALE 1:500</p>	<p>LENGTHS ARE IN METRES</p> 	<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 8</p>
<p>NOBELIUS LAND SURVEYORS P.O. BOX 461 PAKENHAM 3810 Ph 03 5941 4112 mail@nobelius.com.au</p> 		<p>Digitally signed by: Benjamin Stephen Nobellius (Nobellius Land Surveyors Pty Ltd), Surveyor's Plan Version (Version 12), 22/01/2018, SPEAR Ref: S083465E</p> <p>Digitally signed by: Benjamin Stephen Nobellius (Nobellius Land Surveyors Pty Ltd), Surveyor's Plan Version (Version 12), 22/01/2018, SPEAR Ref: S083465E</p>	

# PS 740711 M

SEE SHEET 8

SEE SHEET 8

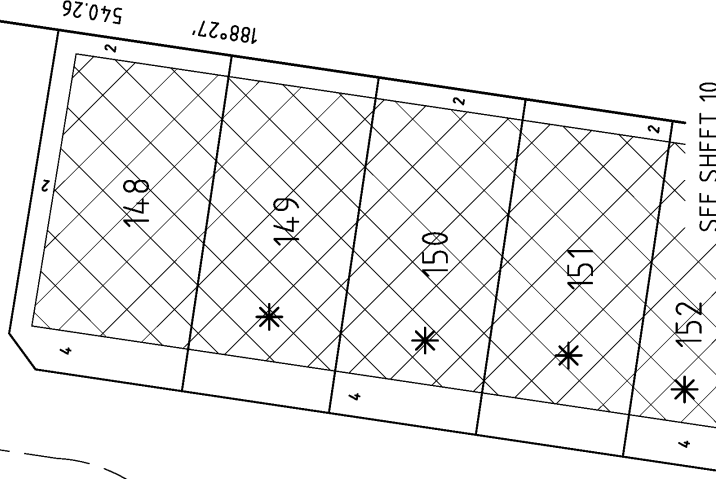
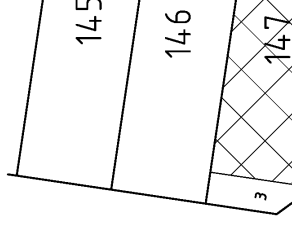


R-1 ROAD GOLDEN BANKSIA DRIVE

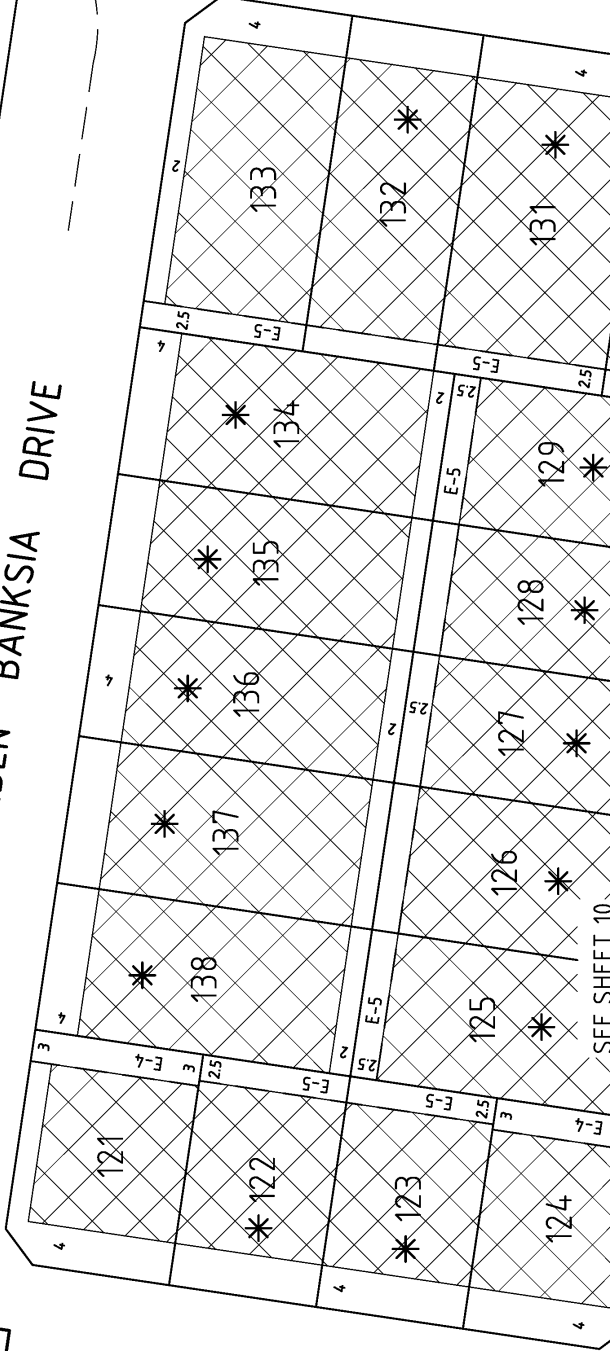
LINCOLN AVENUE

GOLDEN BANKSIA DRIVE

PEARL STREET

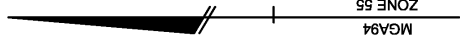


ACACIA STREET



SEE SHEET 10

SEE SHEET 10



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SCALE 1:500

LENGTHS ARE IN METRES

0 5 10 15 20

ORIGINAL SHEET SIZE: A3

SHEET 9

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# PS 740711 M

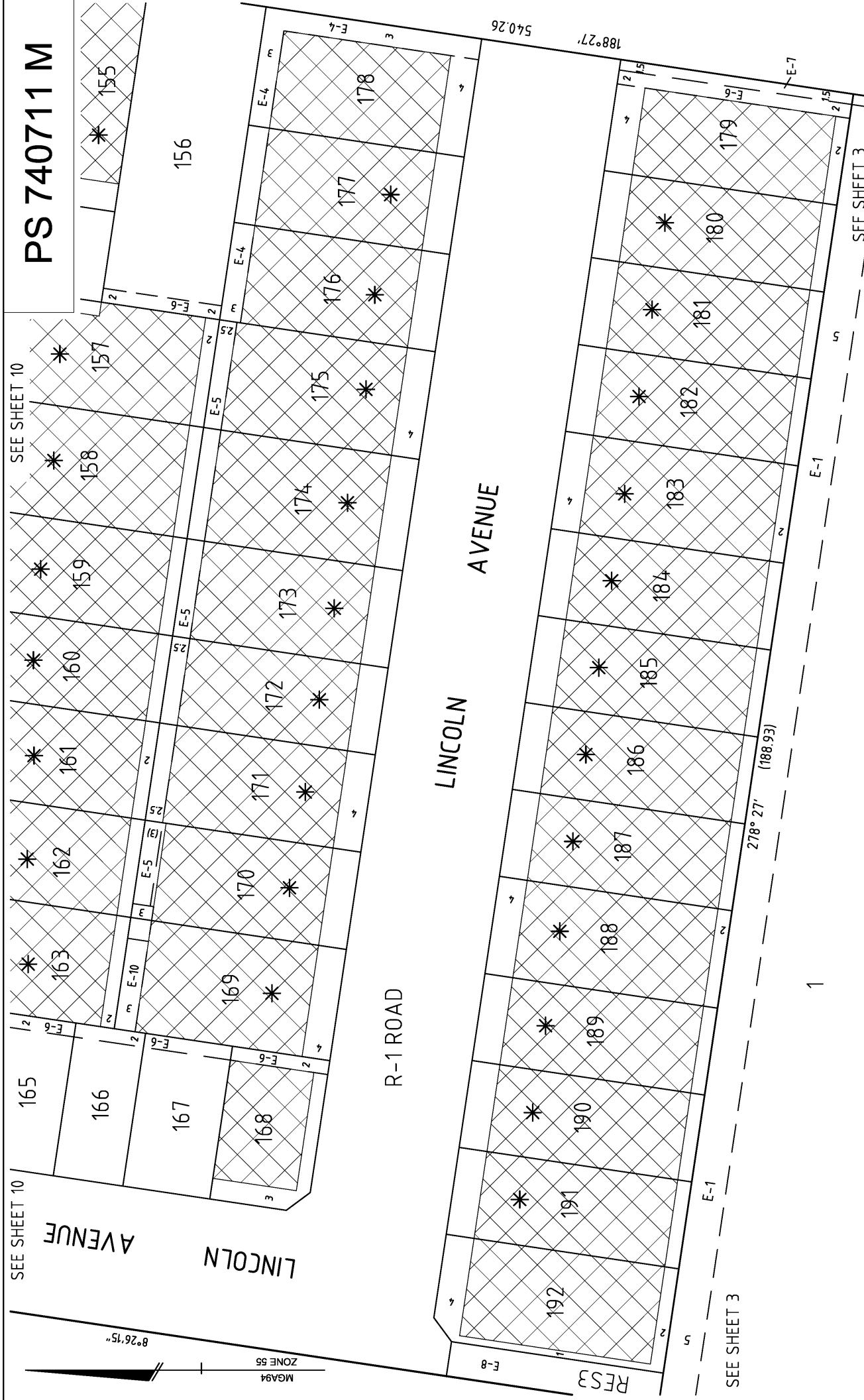


MGA94  
ZONE 55

SEE SHEET 11

SEE SHEET 9

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PS 740711 M

SEE SHEET 10

SEE SHEET 10

AVENUE

LINCOLN

R-1 ROAD

LINCOLN

AVENUE

RESS

SEE SHEET 3

SEE SHEET 3

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SCALE  
1:500

LENGTHS ARE IN METRES

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SHEET 11

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 22/01/2018, SPEAR Ref: S083465E

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 01/06/2018,  
 SPEAR Ref: S083465E

**PLAN OF SUBDIVISION**

EDITION 1

**PS 740711 M**

DENOTES A BUILDING ENVELOPE

\* SIDE SETBACKS:

Unless nominated on the plan, a build to the boundary zone applies to one side of the lot where the crossover exists.  
The opposite setback will be a minimum of 1m.

RESTRICTION ACREATION OF RESTRICTION

On registration of this plan the following is created:

LAND TO BENEFIT: All Lots on this Plan of Subdivision.

LAND TO BE BURDENED: Lots 101 to 192 (all inclusive) on this Plan of Subdivision.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lots shall not at any time on the said lot or any parts thereof:

1. Construct or allow to be constructed any building or structure other than a building or structure that shall be constructed in accordance with the Building Design Guidelines endorsed by Cardinia Shire Council on as part of Planning Permit T150610. A copy of these Design Guidelines are available at: <http://www.beveridgewilliams.com.au/design-application>.
2. Construct or allow to be constructed any building or structure outside the building envelope applied to the lot within instrument PS740711M except for variations allowed in the restrictions to follow;
  - (a) Permitted encroachments to the street setback allowed under regulations 409 of the Building Regulations 2006;
  - (b) Balconies, eaves, fascia, gutter, blade walls, columns and similar architectural features provided that they do not encroach into the permitted front setback more than 1.5 metres and a height of no more than 6.9 metres.
  - (c) Permitted encroachments to the side and rear setbacks allowed under Regulation 414 (3) and (4) of the Building Regulations 2006
3. Construct any walls on boundaries that do not comply with the height and length requirements of Regulation 415 of the Building Regulations 2006 except for where a new wall construction on or within 200mm of a side or rear boundary abuts a wall to be simultaneously constructed on an abutting lot then the length and height of the wall can match the simultaneously constructed abutting wall;
4. Construct or allow to be constructed or allow any dwelling or improvement to remain on the lot prior to;
  - (a) Copies of site plans, floor plans and cross sections (incorporating setbacks from all boundaries, building envelope, building layout, elevations, external finishes, roof pitch, eave depth, driveway and crossover, details of fences and outbuildings), and schedules of external colours and materials have been submitted to the design assessment panel at <http://www.beveridgewilliams.com.au/design-application> or such other entity as may be nominated by the Design Assessment Panel from time to time;
  - (b) The Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time have given its written approval to the plans prior to the commencement of works.

EXPIRY

1. Any restriction relating to building envelopes will cease to apply to any lot affected after the issue of a Certificate of Occupancy (or the like) under the Building Act for the whole of a dwelling on a lot to which the building envelope applies.
2. The Building Design Guidelines shall expire and cease to have effect 10 years after the date of Registration of this Plan of Subdivision.

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ORIGINAL SHEET  
SIZE: A3

SHEET 12

Digitally signed by:  
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01/06/2018,  
SPEAR Ref: S083465E

<b>PLAN OF SUBDIVISION</b>	<b>EDITION 1</b>	<b>PS 740711 M</b>
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## RESTRICTION B

### CREATION OF RESTRICTION

On registration of this plan the following is created:

LAND TO BENEFIT: All Lots on this Plan of Subdivision.

LAND TO BE BURDENED: Lots 103, 112 - 113, 139 - 142, 144 - 146, 165 - 167 (all inclusive) on this Plan of Subdivision.

### DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lots shall not at any time on the said lot or any parts thereof:

1. Construct or allow to be constructed any building or structure other than a building or structure that shall be constructed in accordance with the Building Design Guidelines endorsed by Cardinia Shire Council on as part of Planning Permit T150610. A copy of these Design Guidelines are available at: <http://www.beveridgewilliams.com.au/design-application>.
2. Construct any walls on boundaries that do not comply with the height and length requirements of Regulation 415 of the Building Regulations 2006 except for where a new wall construction on or within 200mm of a side or rear boundary abuts a wall to be simultaneously constructed on an abutting lot then the length and height of the wall can match the simultaneously constructed abutting wall;
3. Construct or allow to be constructed or allow any dwelling or improvement to remain on the lot prior to;
  - (a) Copies of site plans, floor plans and cross sections (incorporating setbacks from all boundaries, building envelope, building layout, elevations, external finishes, roof pitch, eave depth, driveway and crossover, details of fences and outbuildings), and schedules of external colours and materials have been submitted to the design assessment panel at <http://www.beveridgewilliams.com.au/design-application> or such other entity as may be nominated by the Design Assessment Panel from time to time;
  - (b) The Design Assessment Panel or such other entity as may be nominated by the Design Assessment Panel from time to time have given its written approval to the plans prior to the commencement of works.
4. Construct or allow to be constructed an building or structure other than a building or structure that is in accordance with the Small Lot Housing Code contained within the Officer Precinct Structure Plan.

### EXPIRY

1. Any restriction relating to building envelopes will cease to apply to any lot affected after the issue of a Certificate of Occupancy (or the like) under the Building Act for the whole of a dwelling on a lot to which the building envelope applies.
2. The Building Design Guidelines shall expire and cease to have effect 10 years after the date of Registration of this Plan of Subdivision.

## RESTRICTION C

### CREATION OF RESTRICTION

On registration of this plan the following is created:


LAND TO BENEFIT: Lots 139, 140, 141 & 142 on this Plan of Subdivision.

LAND TO BE BURDENED: Lots 139, 140, 141 & 142 on this Plan of Subdivision.

### DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lots shall not at any time on the said lot or any parts thereof:

1. Construct or cause to be constructed on any burdened lot a vehicle access on the road abuttal know as Rix Road.

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